

# **A G E N D A**

The Waxahachie Planning & Zoning Commission will hold a regular meeting on ***Tuesday, August 11, 2020 at 7:00 p.m.*** in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members: Rick Keeler, Chairman  
Melissa Ballard, Vice Chairman  
Betty Square Coleman  
Bonney Ramsey  
Jim Phillips  
David Hudgins  
Erik Test

1. Call to Order
2. Invocation
3. ***Public Comments:*** Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.
4. ***Consent Agenda***  
  
All matters listed under Item 4, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.
  - a. Minutes of the regular Planning & Zoning Commission meeting of July 28, 2020
5. ***Public Hearing*** on a request by Brenden Determann, BFD Managing & Consulting LLC, for a Zoning Change from a Planned Development-General Retail zoning district to Single Family Residential-3, located north of 809 MLK (being a portion of Property ID 205458) - Owner: GIBSON & GIBSON LLC (ZDC-92-2020)
6. ***Consider*** recommendation of Zoning Change No. ZDC-92-2020
7. ***Public Hearing*** on a request by Mikel Craig, Waxahachie ISD, for a Zoning Change from a Single Family-1 and Commercial zoning district to Planned Development-Commercial, located at 2541 US Highway 287 Bypass (Property ID 276711) - Owner: Waxahachie ISD (ZDC-104-2020)
8. ***Consider*** recommendation of Zoning Change No. ZDC-104-2020

9. **Public Hearing** on a request by Matthew Smith, Vaquero Ventures, for a Specific Use Permit (SUP) for **Convenience Store and Gasoline Sales** use within a General Retail zoning district located at 1851 N Highway 77 (Property ID 262430) - Owner: TRIUMPH SQUARE LLC (ZDC-89-2020)
10. **Consider** recommendation of Zoning Change No. ZDC-89-2020
11. **Public Hearing** on a request by Keaton L. Mai, The Dimension Group, for a Specific Use Permit (SUP) for **Convenience Store and Gasoline Sales** use within a General Retail zoning district located at the SW corner of Brown Street and US Highway 287 (being a portion of Property ID 179000) - Owner: BUFFALO CREEK PLAZA LLC (ZDC-96-2020)
12. **Consider** recommendation of Zoning Change No. ZDC-96-2020
13. **Public Hearing** on a request by Terry Nay, The Wash on Brown, for a Specific Use Permit (SUP) for **Auto Laundry or Car Wash** use within a General Retail zoning district located at 2201 Brown Street (Property ID 278472) - Owner: THE NAY COMPANY INC (ZDC-87-2020)
14. **Consider** recommendation of Zoning Change No. ZDC-87-2020
15. **Public Hearing** on a request by Ryan Morrow for a Specific Use Permit (SUP) for **Trailer or Truck Sales or Rental** use within a General Retail zoning district located at 3480 S Interstate 35 (Property ID 179036) - Owner: MORRIS COX (ZDC-88-2020)
16. **Consider** recommendation of Zoning Change No. ZDC-88-2020
17. **Public Hearing** on a request by Clay Cristy, Claymoore Engineering, for a Specific Use Permit (SUP) for **Pole Sign** use within a Light Industrial-1 zoning district located at the SW corner of FM 66 and Interstate 35E (Property ID 174460) - Owner: DML LAND LLC (ZDC-91-2020)
18. **Consider** recommendation of Zoning Change No. ZDC-91-2020
19. Adjourn

**The P&Z reserves the right to go into Executive Session on any posted item.**

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

***Notice of Potential Quorum***  
***One or more members of the Waxahachie City Council may be present at this meeting.***  
***No action will be taken by the City Council at this meeting.***

(42)

Planning and Zoning Commission  
July 28, 2020

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, July 28, 2020 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present: Rick Keeler, Chairman  
Melissa Ballard, Vice Chairman  
Betty Square Coleman  
Bonney Ramsey  
Jim Phillips  
David Hudgins  
Erik Test

Others Present: Shon Brooks, Director of Planning  
Colby Collins, Senior Planner  
Chris Webb, Planner  
Macey Martinez, Graduate Engineer  
Lori Cartwright, City Secretary  
Mary Lou Shipley, Council Representative

- 1. Call to Order
- 2. Invocation

Chairman Rick Keeler called the meeting to order and gave the invocation.

- 3. Public Comments

None

- 4. Consent Agenda

- a. Minutes of the regular Planning & Zoning Commission meeting of July 14, 2020
- b. Minutes of the Planning and Zoning Commission briefing of July 14, 2020

Chairman Keeler referenced in the Minutes of the regular that Vice Chairman Melissa Ballard was present at the July 14, 2020 meeting and she was absent. He referenced the vote on Zoning Change ZDC-84-2020 reflected he voted yes and he stated he voted no.

**Action:**

*Vice Chairman Melissa Ballard moved to approve items a. and b. on the Consent Agenda with corrections. Mrs. Bonney Ramsey seconded, All Ayes.*

- 5. Continue Public Hearing on a request by Ryan Combs, Gardner Capital, for a Zoning Change from a Single Family-3 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the Southeast corner of Parks School House Road and East Main Street (Property ID 138271) - Owner: STARPEACH TEXAS LP (ZDC-000077-2020)

Chairman Keeler continued the Public Hearing.

(4A)

Senior Planner Colby Collins reported the applicant proposes to rezone the property to construct an Independent Senior Living Development on nine acres. He stated the applicant proposes 185 units with 21 dwelling units per acre. Mr. Collins stated a Development Agreement is required for ZDC-77-2020. Mr. Collins reviewed the following:

- Density - The maximum allowed per Multi-Family-2 zoning is 18 dwelling units per acre and the applicant proposes 21 dwelling units per acre.
- Unit Count- The maximum unit count allowed for the subject site is 162 units. The applicant is proposing to construct 185 units.
- Parking Garages – The applicant is required to prove 50 % attached enclosed garages of the required parking for the site. The applicant is proposing zero (0) attached garages of the 92 required attached enclosed garages. The applicant is proposing to provide 156 carports.

Mr. Collins stated the Planning and Zoning Department recommends approval per the following comments:

- Per the applicant's request, a Development Agreement will be required for the development.

Mr. Ryan Combs, Gardner Capital, Applicant, stated the proposed development will serve senior living for seniors 55 years old and older. He state the residential development will be three stories and include elements such as:

- Exercise Facility
- Walking/Jogging Trail
- Salon
- Arts and Crafts Room
- Garden
- CARES Team (Social Events Coordinators)
- Common Area
- Business Center

Those who spoke against: ZDC-000077-2020:

Ms. Cindy Mullins, 624 Brenna Road, Waxahachie

There being no others to speak for or against ZDC-000077-2020, Chairman Keeler closed the Public Hearing.

#### **6. Consider recommendation of Zoning Change No. ZDC-77-2020**

Commissioner Betty Square Coleman stated whatever program the applicant gets from the government and the means of money they receive for the development there are always going to be various people of various color that will move in and it cannot be determine how they are going to keep their house. She stated her concern is the quality of housing, quality of government, quality of infrastructure and what the city is getting out of the product.

(4a)

**Action:**

*Vice Chairman Melissa Ballard moved to approve a request by Ryan Combs, Gardner Capital, for a Zoning Change from a Single Family-3 zoning district to Planned Development-Multiple Family-2, with Concept Plan, located at the Southeast corner of Parks School House Road and East Main Street (Property ID 138271) - Owner: STARPEACH TEXAS LP (ZDC-000077-2020) subject to Staff Comments and a Development Agreement. Mrs. Bonney Ramsey seconded. The vote was as follows:*

*Ayes: Rick Keeler  
Melissa Ballard  
Bonney Ramsey  
Jim Phillips  
David Hudgins  
Erik Test*

*Noes: Betty Square Coleman*

***The motion carried.***

**7. Adjourn**

There being no further business, the meeting adjourned at 8:06 p.m.

Respectfully submitted,

Lori Cartwright  
City Secretary

(5+6)



## Memorandum

To: Honorable Mayor and City Council  
From: Shon Brooks, Director of Planning  
Thru: Michael Scott, City Manager  
Date: August 3, 2020  
Re: ZDC-92-2020 809 MLK (PD-GR to SF3)

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On August 3, 2020, the applicant requested to continue case no. ZDC-92-2020 to the August 25, 2020 Planning and Zoning meeting agenda, and the September 8, 2020 City Council meeting agenda.

(7)

# Planning & Zoning Department

## Zoning Staff Report

Case: ZDC-104-2020



**MEETING DATE(S)**

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

**CAPTION**

**Public Hearing** on a request by Mikel Craig, Waxahachie ISD, for a Zoning Change from a Single Family-1 and Commercial zoning district to Planned Development-Commercial, located at 2541 US Highway 287 Bypass (Property ID 276711) - Owner: Waxahachie ISD (ZDC-104-2020)

**APPLICANT REQUEST**

The applicant is requesting approval to allow construction of a fence to surround the Waxahachie AgriScience Facility.

**CASE INFORMATION**

*Applicant:* Mikel Craig, Waxahachie ISD

*Property Owner(s):* Waxahachie ISD

*Site Acreage:* 9.125 acres

*Current Zoning:* Single Family-1 and Commercial

*Requested Zoning:* Planned Development-Commercial

**SUBJECT PROPERTY**

*General Location:* 2541 US Highway 287 Bypass

*Parcel ID Number(s):* 276711

*Existing Use:* Waxahachie AgriScience Facility

*Development History:* N/A

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	---	US Highway 287 Bypass
East	PD-MF2	The Mark on Conquest Phase 1
South	PD-C	Waxahachie High School
West	PD-C	Waxahachie High School

*Future Land Use Plan:* Public/Semi-Public

(1)

**Comprehensive Plan:**

This land use category includes uses that are educational, governmental or institutional in nature. This type of land use is generally permitted within any area, therefore, only the current Public/Semi-Public uses are shown on the map.

**Thoroughfare Plan:**

The subject property is accessible via US 287 Highway Bypass.

**Site Image:**



**PLANNING ANALYSIS**

**Purpose of Request:**

The applicant is requesting approval to allow construction of a fence to surround the Waxahachie AgriScience Facility.

**Proposed Use:**

To further protect the students, as well as the livestock on the property, Waxahachie ISD is requesting to construct a fence around the existing AgriScience Facility. Waxahachie ISD intends to construct a six foot tall black chain link fence along the East boundary of the property. The North and West boundaries of the property will be six foot tall and consist of cedar posts, staves, and high-tensile netting.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 1 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:



(1)

**ATTACHED EXHIBITS**

1. Fence Layout Exhibit

**APPLICANT REQUIREMENTS**

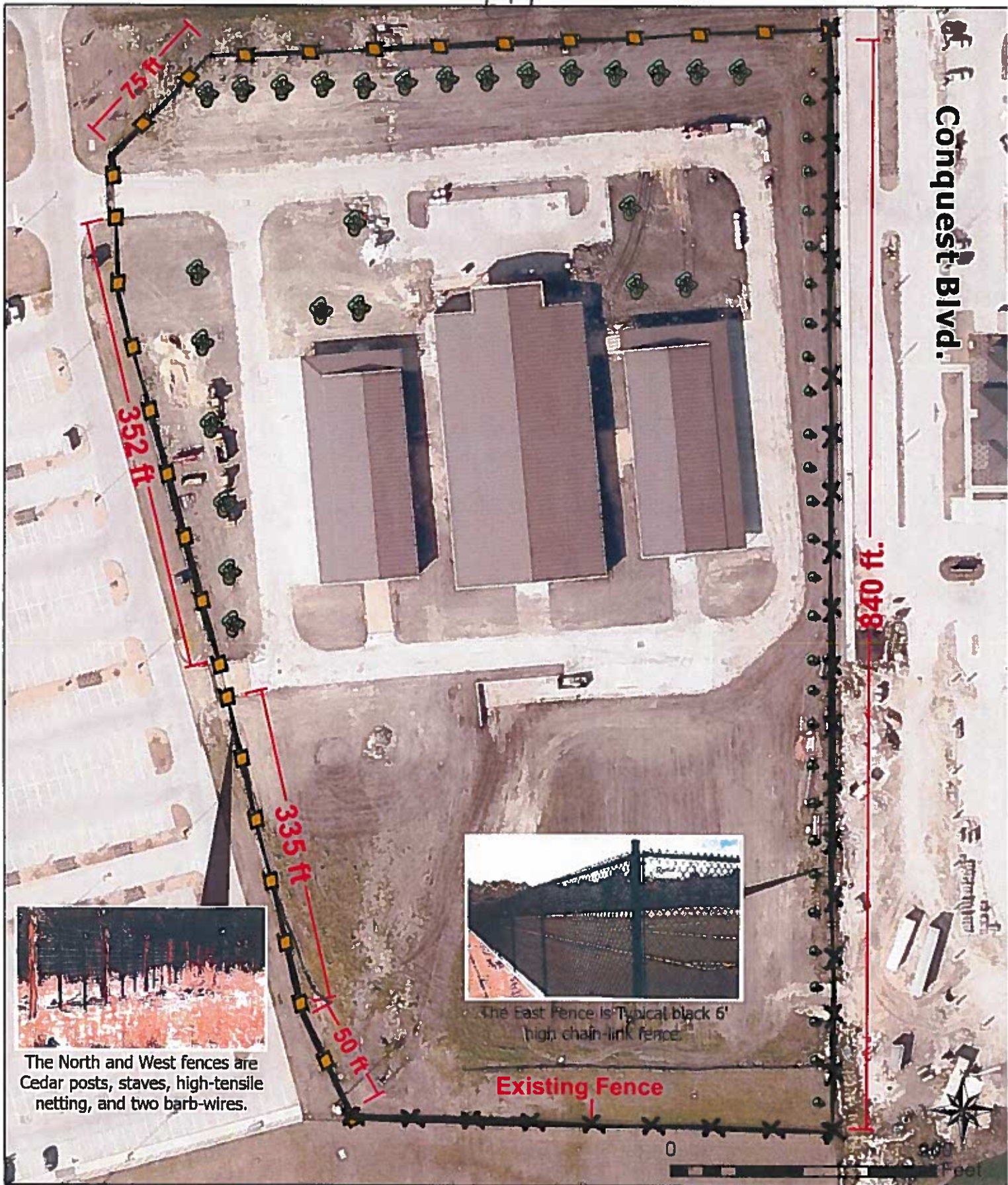
1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
  - a. If comments were not satisfied, then applicant will be notified to make corrections.
  - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

17)



Conquest Blvd.

840 ft.



The North and West fences are Cedar posts, staves, high-tensile netting, and two barb-wires.



The East Fence is Typical black 6' high chain-link fence.

Existing Fence



# WISD Ag Facility Fencing Exhibit

- Chain-Link Fence
- Cedar Post Fence
- Tress
- Shrubs

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the City of Waxahachie for the sole purpose of geographic reference. No warranty is made by the City of Waxahachie regarding specific accuracy or completeness.



(9)

# Planning & Zoning Department

## Zoning Staff Report

Case: ZDC-89-2020



### MEETING DATE(S)

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

### CAPTION

**Public Hearing** on a request by Matthew Smith, Vaquero Ventures, for a Specific Use Permit (SUP) for Convenience Store and Gasoline Sales uses within a General Retail zoning district located at 1851 N Highway 77 (Property ID 262430) - Owner: TRIUMPH SQUARE LLC (ZDC-89-2020)

### APPLICANT REQUEST

The applicant is requesting approval to allow a Convenience Store with Gasoline Sales (7-Eleven) on 1.5 acres.

### CASE INFORMATION

*Applicant:* Matthew Smith, Vaquero Ventures

*Property Owner(s):* Triumph Square LLC

*Site Acreage:* 1.524 acres

*Current Zoning:* General Retail

*Requested Zoning:* General Retail w/ SUP

### SUBJECT PROPERTY

*General Location:* 1851 N. Highway 77

*Parcel ID Number(s):* 262430

*Existing Use:* Currently Undeveloped

*Development History:* The Zoning Change for the subject property (Ord. 2910), was approved by City Council on December 19, 2016.

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	GR	Community National Bank
East	N/A	US Highway 77
South	GR	Medical Offices
West	L11	Currently Undeveloped

(9)

*Future Land Use Plan:*

Commercial

*Comprehensive Plan:*

Commercial areas are intended for establishments that provide services to customers. Examples include car dealerships, self-storage businesses, and repair shops. Such uses are generally not significant contributors to a municipality's tax revenue, and, by their nature, commercial businesses can detract from positive aesthetics. Primarily for these reasons, commercial uses have generally only been recommended in locations consistent with where such uses currently exist.

*Thoroughfare Plan:*

The subject property is accessible via US Highway 77, Triumph Ln., and North Town Blvd.

*Site Image:*



## **PLANNING ANALYSIS**

### **Purpose of Request:**

The applicant is requesting approval to allow a Convenience Store with Gasoline Sales (7-Eleven) on 1.5 acres.

### **Proposed Use:**

Per the Operational Plan, 7 Eleven plans to operate a convenience store and gas station at 1851 N. Highway 77. The location will operate 24 hours a day, 7 days a week. There will be six gas pumps which allows for a maximum of 12 cars to fuel at any given time. The pumps will service both gasoline and diesel vehicles. There will be an average of three employees per shift throughout the day and night.

(9)

**Table 2: Proposed Development Standards (General Retail)**

**\*Items highlighted in bold do not meet the City of Waxahachie requirements**

Standard	City of Waxahachie	7-Eleven	Meets Y/N
Min. Lot Area (Sq. Ft.)	7,000	66,385	Yes
Min. Lot Width (Ft.)	60	250	Yes
Min. Lot Depth (Ft.)	100	268	Yes
Min. Front Yard (Ft.)	40	40	Yes
Min. Side Yard (Ft.)	20	20	Yes
Min. Rear Yard (Ft.)	20; 25 (adjacent to residential)	40	Yes
Max. Height	2 stories	1 story	Yes
Max. Lot Coverage (%)	40	6	Yes
Parking 1 space per 200 sq. ft.	20	21	Yes

*\*Additional Note: The building is proposed to be constructed of a masonry exterior with a mixture of brick and stone.*

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 8 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
  1. Per the applicant's request, a Development Agreement will be required for the property.

**ATTACHED EXHIBITS**

1. Operational Plan
2. Site Plan
3. Landscape Plan
4. Elevation/Façade Plan

**APPLICANT REQUIREMENTS**

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

Prepared by:  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

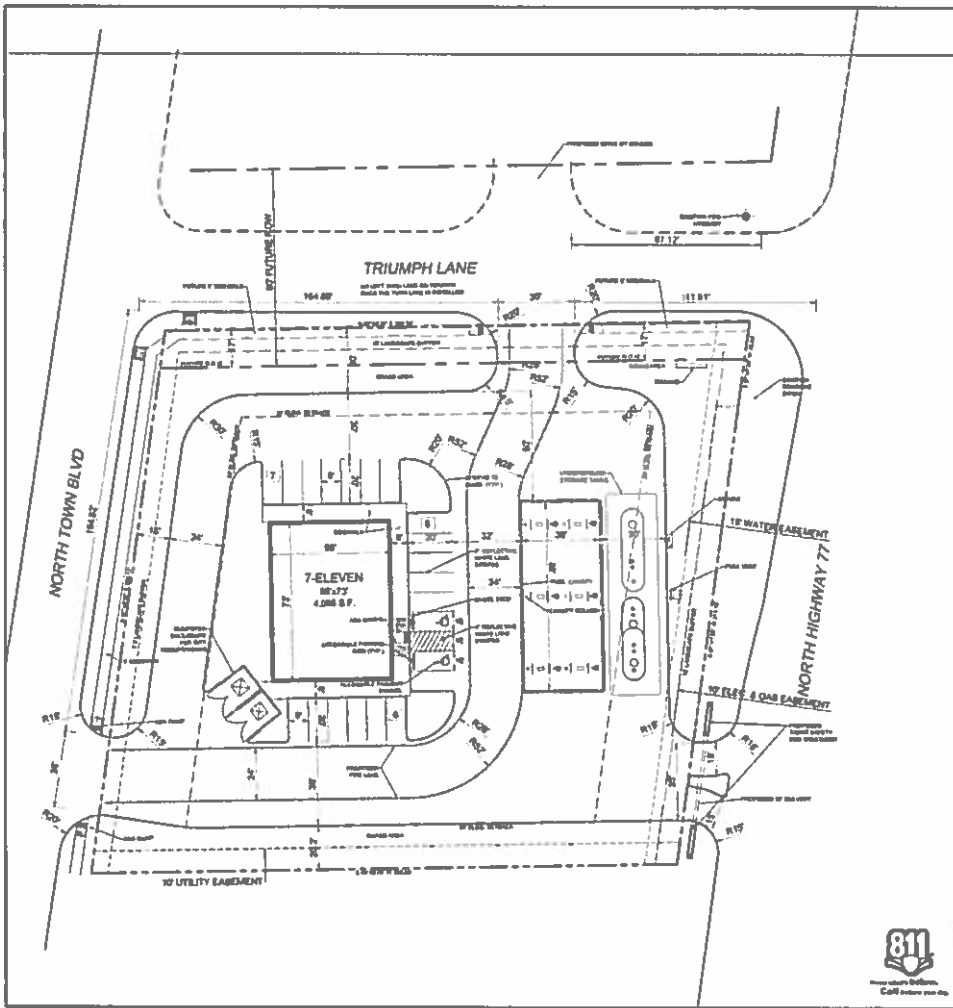
Reviewed by:  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



### **Operational Plan**

7 Eleven plans to operate a convenience store and gas station at 1851 N. Highway 77 Waxahachie, TX 75165. The location will operate 24 hours a day, 7 days a week. There will be six gas pumps which allows for a maximum of 12 cars to fuel at any given time. The pumps will service both gasoline and diesel vehicles. There will be an average of three employees per shift throughout the day and night.

(9)



**PROJECT CONTACT LIST**

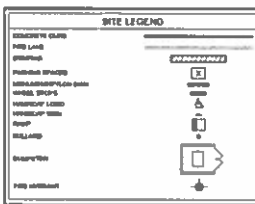
OWNER Triumph Lane LLC 10000 Triumph Lane, Suite 100 Charlotte, NC 28226 TEL: 704-533-3333	DESIGNER TRIANGLE ENGINEERING LLC 10000 Triumph Lane, Suite 100 Charlotte, NC 28226 TEL: 704-533-3333
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**SITE DATA SUMMARY TABLE**

APPLICABLE ZONING	1.1 (1) RES. (R) (1)
PERMITS REQUIRED	Site Plan, Engineering, Survey, and Utility
EXISTING USE	Commercial
PROPOSED USE	Commercial
ADDITIONAL PERMITS REQUIRED	None
ADDITIONAL REGULATIONS	None
ADDITIONAL NOTES	None

**ZONING SUMMARY TABLE**

REQUIREMENT	PROPOSED	PROHIBITED
USE	Commercial	Residential
LOT AREA	10,000	5,000
MIN. LOT WIDTH	30	20
MIN. FRONT SETBACK	10	5
MIN. SIDE SETBACK	5	3
MIN. REAR SETBACK	5	3
MIN. HEIGHT	10	8
MIN. LOT COVERAGE	10%	15%
MIN. OPEN SPACE	10%	15%
MIN. TREE COVERAGE	10%	15%
MIN. PERMEABLE PAVEMENT	10%	15%
MIN. BIOPOROUS INFILTRATION	10%	15%
MIN. BIOPOROUS INFILTRATION	10%	15%

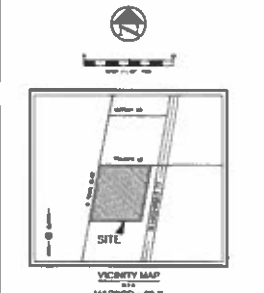


**FLOODPLAIN NOTIC**  
 DESCRIBED BY THE PROPERTY LIES WITHIN A 100-YEAR FLOOD PLAIN (ZONE 1) AS SHOWN ON THE VICTORY PLANS PHASE 1.

ON-SITE DETENTION POND SHALL BE PROVIDED TO RELEASE AT THE DEVELOPED FLOW CONDITION AS SHOWN ON THE VICTORY PLANS PHASE 1.

**811**  
 CALL BEFORE YOU DIG

DATE	TIME	LOCATION	DEPTH
08-22-27	11:00 AM	10000 Triumph Lane	30"
08-22-27	11:00 AM	10000 Triumph Lane	30"



**STATE GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE, NORTH CAROLINA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM THE CITY OF CHARLOTTE, NORTH CAROLINA.
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CASE # ZDC-85-2020  
 SITE AREA: 1.52+ ACRES (66,365 SF)

**7-ELEVEN**  
 SITE PLAN  
 10000 TRIUMPH LANE  
 CHARLOTTE, NC 28226  
 PREPARED BY: TRIANGLE ENGINEERING LLC  
 DATE: 08-22-27

TRIANGLE ENGINEERING LLC  
 10000 TRIUMPH LANE, SUITE 100  
 CHARLOTTE, NC 28226  
 TEL: 704-533-3333  
 FAX: 704-533-3334  
 WWW.TRIANGLE-ENG.COM

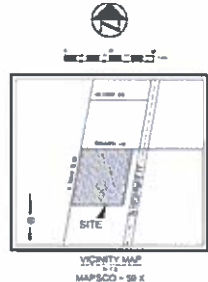
**C-3.0**

(9)



**LANDSCAPE TREATMENT**

- GENERAL NOTES:**
  - 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
- PLANTING SPECIFICATIONS:**
  - 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
- PLANTING SCHEDULE:**
  - 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.



- GENERAL LANDSCAPE NOTES:**
  - 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.
  - 7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAXAHACHIE LANDSCAPE TREATMENT MANUAL.

**SITE DATA SUMMARY TABLE**

Site Name	7-Eleven
Address	Triumph Lane
City	Waxahachie, TX
County	Tarrant
Map	MAPSCO - 50 X
Block	7
Lot	22
Area	4,589 SF
Use	Commercial
Owner	7-Eleven
Architect	Triangle Landscape Inc.
Engineer	Triangle Landscape Inc.
Scale	1/8" = 1'-0"
Date	08/11/2011

**ZONING SUMMARY TABLE**

Code	Description	Area
CU	Community Use	4,589 SF
CU-1	Community Use - Single-Family	4,589 SF
CU-2	Community Use - Multi-Family	4,589 SF
CU-3	Community Use - Office	4,589 SF
CU-4	Community Use - Retail	4,589 SF
CU-5	Community Use - Industrial	4,589 SF
CU-6	Community Use - Agricultural	4,589 SF
CU-7	Community Use - Other	4,589 SF

**PLANT SCHEDULE**

Code	Plant Name	Quantity	Notes
1	Tree	10	Plant in parking area
2	Shrub	20	Plant along sidewalk
3	Flower	30	Plant in front yard
4	Grass	100	Plant in lawn area
5	Groundcover	50	Plant in garden bed
6	Palmetto	5	Plant in front yard
7	Yucca	5	Plant in front yard
8	Agave	5	Plant in front yard
9	Drumstick	5	Plant in front yard
10	Other	5	Plant in front yard

**PROJECT CONTACT LIST**

Name	Company	Phone	Email
John Doe	Triangle Landscape Inc.	972-555-1234	john.doe@trianglelandscape.com
Jane Smith	Triangle Landscape Inc.	972-555-1234	jane.smith@trianglelandscape.com
Bob Johnson	Triangle Landscape Inc.	972-555-1234	bob.johnson@trianglelandscape.com
Alice Brown	Triangle Landscape Inc.	972-555-1234	alice.brown@trianglelandscape.com
Charlie White	Triangle Landscape Inc.	972-555-1234	charlie.white@trianglelandscape.com

**LANDSCAPE PLAN**

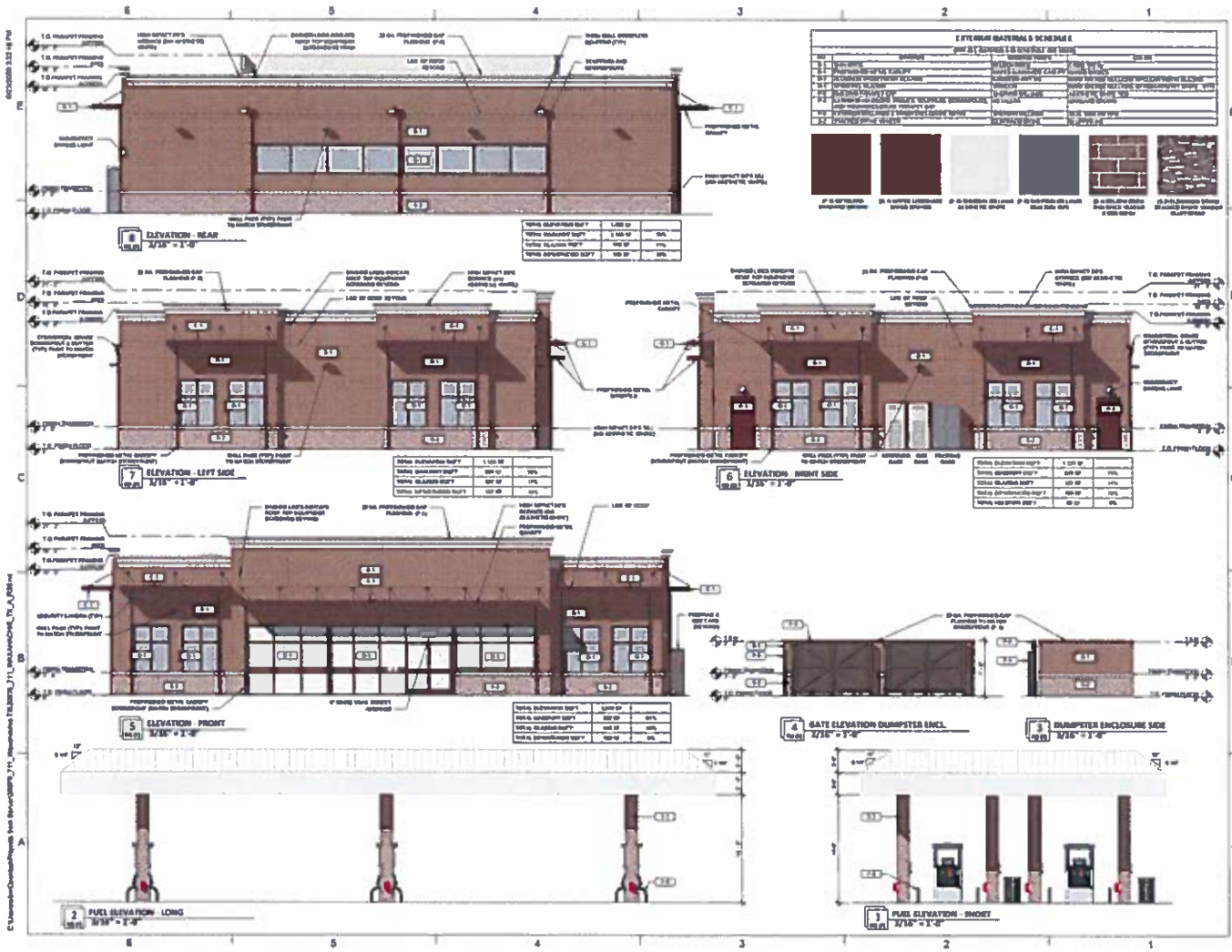
7-ELEVEN  
 1001 TRIUMPH LANE  
 CITY OF WAXAHACHIE  
 TARRANT COUNTY TEXAS 75165  
 VICTORY PARK  
 LOT 22, BLOCK A

**TRIANGLE LANDSCAPE INC.**  
 1001 TRIUMPH LANE  
 WAXAHACHIE, TEXAS 75165  
 PHONE: 972-555-1234  
 FAX: 972-555-1234

DATE: 08/11/2011  
 SCALE: 1/8" = 1'-0"



(9)



**buf** STUDIO

7-ELEVEN STORE  
NORTH HIGHWAY 77  
WAXAHACHIE, TX

**NOT FOR CONSTRUCTION**

REVENUE BOARD ELEVATION  
R0.01

(11)

# Planning & Zoning Department

## Zoning Staff Report

Case: ZDC-96-2020



**MEETING DATE(S)**

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

**CAPTION**

*Public Hearing* on a request by Keaton L. Mai, The Dimension Group, for a Specific Use Permit (SUP) for Convenience Store and Gasoline Sales use within a General Retail zoning district located at the SW corner of Brown Street and US Highway 287 (being a portion of Property ID 179000) - Owner: BUFFALO CREEK PLAZA LLC (ZDC-96-2020)

**APPLICANT REQUEST**

The applicant is requesting approval to allow a Convenience Store with Gasoline Sales (7-Eleven) on 2.25 acres.

**CASE INFORMATION**

*Applicant:* Keaton Mai P.E., The Dimension Group

*Property Owner(s):* Buffalo Creek Plaza, LLC

*Site Acreage:* 2.25 acres

*Current Zoning:* General Retail

*Requested Zoning:* General Retail w/ SUP

**SUBJECT PROPERTY**

*General Location:* SW corner of Brown Street and US Highway 287

*Parcel ID Number(s):* 179000

*Existing Use:* Currently Undeveloped

*Development History:* N/A

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	N/A	Undeveloped Land
East	GR	Undeveloped Land
South	GR	Office Use
West	SF2/PD-GR	Single Family Residential/WISD

(11)

*Future Land Use Plan:*

Office

*Comprehensive Plan:*

This land use type is intended for businesses such as banks, insurance agencies, and accounting offices. Office land uses are generally compatible with residential area, with the exception of high-rise office buildings. Land designated for office is appropriate along U.S. Highway 287, at a close proximity to IH-35E within Mixed Use Nonresidential areas, as well as within the Medical District.

*Thoroughfare Plan:*

The subject property is accessible via Brown St. and US Hwy 287 Bypass

*Site Image:*



**PLANNING ANALYSIS**

**Purpose of Request:**

The applicant is requesting approval to allow a Convenience Store with Gasoline Sales (7-Eleven) on 2.25 acres.

**Proposed Use:**

Per the Operational Plan, 7-Eleven plans to operate a convenience store and gas station at the SWC of Brown St and US Hwy 287 Bypass. This location will operate 24 hours a day, 7 days a week. There will be eight gas pumps which allows for a maximum of 16 cars to fuel at any given time. The pumps will service both gasoline and diesel vehicles. There will be an average of three employees per shift throughout the day and night.

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**Table 2: Proposed Development Standards (General Retail)**

**\*Items highlighted in bold do not meet the City of Waxahachie requirements**

Standard	City of Waxahachie	7-Eleven	Meets Y/N
Min. Lot Area (Sq. Ft.)	7,000	48,643	Yes
Min. Lot Width (Ft.)	60	242	Yes
Min. Lot Depth (Ft.)	100	272	Yes
Min. Front Yard (Ft.)	40	40	Yes
Min. Side Yard (Ft.)	20	30	Yes
Min. Rear Yard (Ft.)	20; 25 (adjacent to residential)	20	Yes
Max. Height	2 stories	1 story	Yes
Max. Lot Coverage (%)	40	17	Yes
Parking 1 space per 200 sq. ft.	21	22	Yes

*\*Additional Note: The building is proposed to be constructed of brick, stone, and stucco.*

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City’s public hearing notice requirements, 9 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**PROPERTY OWNER NOTIFICATION RESPONSES**

Staff has received two (2) letters of support and one (1) letter of opposition for the proposed development.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
  1. Per the applicant’s request, a Development Agreement will be required for the property.

**ATTACHED EXHIBITS**

1. Operational Plan
2. Site Plan
3. Landscape Plan
4. Elevation/Façade Plan
5. Property Owner Notification Responses

**APPLICANT REQUIREMENTS**

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

Prepared by:  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

Reviewed by:  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

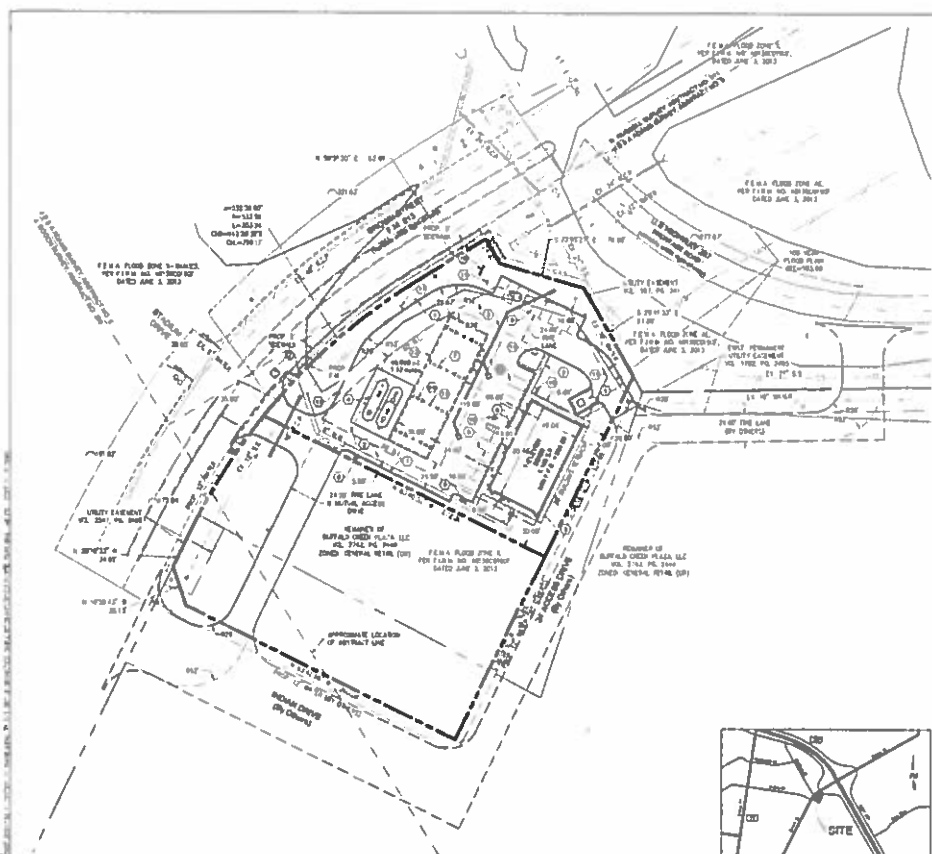
(11)



### **Operational Plan**

7-Eleven plans to operate a convenience store and gas station at the SWC of Brown St and US Hwy 287 Bypass, Waxahachie, TX 75165. This location will operate 24 hours a day, 7 days a week. There will be eight gas pumps which allows for a maximum of 16 cars to fuel at any given time. The pumps will service both gasoline and diesel vehicles. There will be an average of three employees per shift throughout the day and night.

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**NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES FOR ALL LOTS AND ALL UTILITIES FOR THE ENTIRE PROJECT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
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**SITE PLAN DETAILS**

- 1. RECONSTRUCT EXISTING DRIVEWAY
- 2. RECONSTRUCT EXISTING DRIVEWAY
- 3. RECONSTRUCT EXISTING DRIVEWAY
- 4. RECONSTRUCT EXISTING DRIVEWAY
- 5. RECONSTRUCT EXISTING DRIVEWAY
- 6. RECONSTRUCT EXISTING DRIVEWAY
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- 15. RECONSTRUCT EXISTING DRIVEWAY
- 16. RECONSTRUCT EXISTING DRIVEWAY
- 17. RECONSTRUCT EXISTING DRIVEWAY
- 18. RECONSTRUCT EXISTING DRIVEWAY
- 19. RECONSTRUCT EXISTING DRIVEWAY
- 20. RECONSTRUCT EXISTING DRIVEWAY

**LEGEND**

ITEM NO.	DESCRIPTION
1	EXISTING DRIVEWAY
2	EXISTING DRIVEWAY
3	EXISTING DRIVEWAY
4	EXISTING DRIVEWAY
5	EXISTING DRIVEWAY
6	EXISTING DRIVEWAY
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13	EXISTING DRIVEWAY
14	EXISTING DRIVEWAY
15	EXISTING DRIVEWAY
16	EXISTING DRIVEWAY
17	EXISTING DRIVEWAY
18	EXISTING DRIVEWAY
19	EXISTING DRIVEWAY
20	EXISTING DRIVEWAY

**DATA SUMMARY TABLE**

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	EXISTING DRIVEWAY	1	LINEAL FOOT	
2	EXISTING DRIVEWAY	1	LINEAL FOOT	
3	EXISTING DRIVEWAY	1	LINEAL FOOT	
4	EXISTING DRIVEWAY	1	LINEAL FOOT	
5	EXISTING DRIVEWAY	1	LINEAL FOOT	
6	EXISTING DRIVEWAY	1	LINEAL FOOT	
7	EXISTING DRIVEWAY	1	LINEAL FOOT	
8	EXISTING DRIVEWAY	1	LINEAL FOOT	
9	EXISTING DRIVEWAY	1	LINEAL FOOT	
10	EXISTING DRIVEWAY	1	LINEAL FOOT	
11	EXISTING DRIVEWAY	1	LINEAL FOOT	
12	EXISTING DRIVEWAY	1	LINEAL FOOT	
13	EXISTING DRIVEWAY	1	LINEAL FOOT	
14	EXISTING DRIVEWAY	1	LINEAL FOOT	
15	EXISTING DRIVEWAY	1	LINEAL FOOT	
16	EXISTING DRIVEWAY	1	LINEAL FOOT	
17	EXISTING DRIVEWAY	1	LINEAL FOOT	
18	EXISTING DRIVEWAY	1	LINEAL FOOT	
19	EXISTING DRIVEWAY	1	LINEAL FOOT	
20	EXISTING DRIVEWAY	1	LINEAL FOOT	

**SPECIFIC USE PERMIT**  
**7-ELEVEN**  
**LOT 1 & 2, BLOCK A (2 LOTS)**  
**PORTION OF BUFFALO CREEK PLAZA, LLC**  
**VOL. 2742, PG. 2419**  
**JB & A ADAMS SURVEY, ABSTRACT NO. 5 AND**  
**THE JOHN GOOCH SURVEY, ABSTRACT NO. 393**  
**CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS**  
**AREA = 2.25 ACRES**  
**July 26, 2020**

**811**

**CALL BEFORE YOU DIG**

FOR A LIST OF PARTICIPATING UTILITIES, VISIT [www.811.com](http://www.811.com)

**PROJECT BENCHMARKS**

DATE: 07/26/2020

BY: [Name]

**WATER METER SCHEDULE**

NO.	TYPE	SIZE	LOCATION
1	WATER METER	1/2"	LOT 1
2	WATER METER	1/2"	LOT 2

**SURVEYOR**  
**WHEELER & ASSOCIATES, INC.**  
**1616 W. BAY ST. PLAZA, SUITE 216**  
**DALLAS, TEXAS 75201**  
**PHONE: (972) 251-7888**  
**CONTACT: LEONARD J. WHEELER, P.E.**

**OWNER**  
**JOE ROY COMPANY**  
**406 GOSWELL AVE. S.W.**  
**DALLAS, TEXAS 75208**  
**PHONE: (972) 251-7888**  
**CONTACT: JOE ROY**

**ARCHITECT**  
**THE DIMENSION GROUP**  
**1070 BARKSHILL ROAD**  
**DALLAS, TEXAS 75208**  
**PHONE: (214) 343-8000**  
**CONTACT: ALEXANDRA HANF, AIA**

**ENGINEER**  
**THE DIMENSION GROUP**  
**1070 BARKSHILL ROAD**  
**DALLAS, TEXAS 75208**  
**PHONE: (214) 343-8000**  
**CONTACT: ASHLEY HANF, P.E.**

**DIMENSION GROUP**

**STATE OF TEXAS**

**7-ELEVEN PERMIT SHEET**

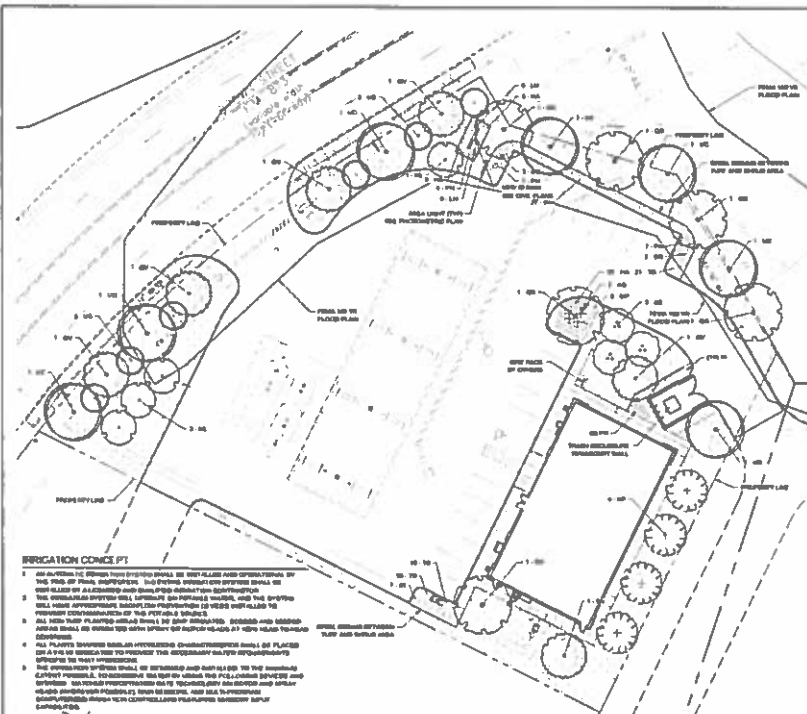
**WAXAHACHIE, TEXAS**

**SHEET**

**C3.0**

**ZDC-96-2020**

(11)



PLANT SCHEDULE

NO.	SYM.	COMMON NAME	HT.	WID.	SPACING	QTY
01	A	Small evergreen	6-8'	3'-4'	10' x 10'	100
02	B	Medium evergreen	8-10'	4'-5'	10' x 10'	50
03	C	Large evergreen	12-15'	6'-8'	10' x 10'	25
04	D	Small deciduous	6-8'	3'-4'	10' x 10'	100
05	E	Medium deciduous	8-10'	4'-5'	10' x 10'	50
06	F	Large deciduous	12-15'	6'-8'	10' x 10'	25
07	G	Shrub	4-6'	3'-4'	10' x 10'	200
08	H	Flowering shrub	4-6'	3'-4'	10' x 10'	200
09	I	Perennial	2-3'	2'-3'	10' x 10'	1000
10	J	Annual	1-2'	1'-2'	10' x 10'	5000

**IRIGATION CONCRETE FT**

1. ALL AREAS TO BE IRRIGATED SHALL BE DETAIL AND SPECIFICATIONS BY THE TIME OF FINAL SUBMITTALS. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN ENGINEER AND SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

**GENERAL GRADING AND PLANTING NOTES**

1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

**LANDSCAPE CALCULATIONS**

**STREET TREES**

STREET TREES: 100 FT

STREET TREES: 100 FT

STREET TREES: 100 FT

**PLANTING AREA CALCULATIONS**

PLANTING AREA: 100 FT

PLANTING AREA: 100 FT

PLANTING AREA: 100 FT

**ROOT BARRIERS**

1. ALL AREAS TO BE IRRIGATED SHALL BE DETAIL AND SPECIFICATIONS BY THE TIME OF FINAL SUBMITTALS. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN ENGINEER AND SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

**PLANTING NOTES**

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**CAUTION NOTICE TO CONTRACTORS**

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**SCALE**

Scale 1" = 20'

811 logo with text: CALL 811 FOR UTILITY LOCATIONS. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

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Evergreen logo with text: EVERGREEN GROUP. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

**THE DIMENSION GROUP**

LANDSCAPE PLAN

1. ALL CONTRACTORS SHALL BE ADVISED THAT THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DESIGN.

Scale 1" = 20'

EVERGREEN GROUP

LP-1



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**PLANTING SPECIFICATIONS**

**1. GENERAL**

A. Section includes all work necessary to install and maintain the landscape as shown on the drawings.

B. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

C. The contractor shall be responsible for the selection and procurement of all plants and materials to be used in the work.

D. The contractor shall be responsible for the protection of all existing utilities and structures on the site.

E. The contractor shall be responsible for the safety of all workers and the public during the course of the work.

F. The contractor shall be responsible for the cleanup of the site after the work is completed.

**2. MATERIALS**

A. All plants shall be selected and procured from a reputable nursery or grower.

B. All plants shall be of the size and quantity specified on the drawings.

C. All plants shall be healthy and free from disease, insects, and other pests.

D. All plants shall be delivered to the site in good condition and ready for planting.

E. All plants shall be planted in accordance with the manufacturer's instructions.

F. All plants shall be watered and maintained during the first year after planting.

**3. INSTALLATION**

A. The contractor shall excavate the planting holes to the depth and diameter specified on the drawings.

B. The contractor shall amend the soil in the planting holes with a suitable growing medium.

C. The contractor shall place the plants in the planting holes and backfill with the amended soil.

D. The contractor shall water the plants thoroughly after planting.

E. The contractor shall install any necessary irrigation or drainage systems.

F. The contractor shall install any necessary mulch or ground cover.

**4. MAINTENANCE**

A. The contractor shall be responsible for the maintenance of the landscape for a period of one year after completion of the work.

B. The contractor shall be responsible for the replacement of any plants that die or become diseased during the maintenance period.

C. The contractor shall be responsible for the watering and fertilizing of the plants during the maintenance period.

D. The contractor shall be responsible for the weeding and pruning of the plants during the maintenance period.

E. The contractor shall be responsible for the removal of any dead or damaged plants during the maintenance period.

**5. NOTES**

A. All dimensions are in feet and inches unless otherwise noted.

B. All materials shall be of the highest quality available.

C. The contractor shall be responsible for the accuracy of all measurements and calculations.

D. The contractor shall be responsible for the coordination of all trades.

E. The contractor shall be responsible for the completion of the work within the specified time frame.

F. The contractor shall be responsible for the payment of all bills and taxes.

**6. SPECIFICATIONS**

A. The contractor shall follow the manufacturer's instructions for all materials and plants.

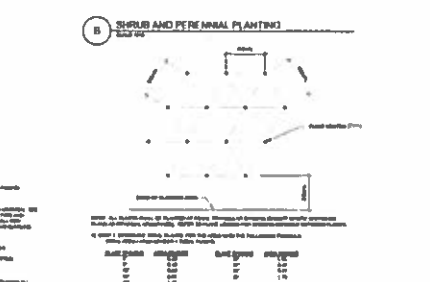
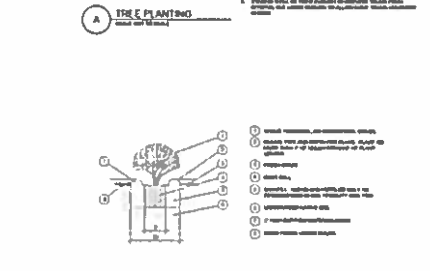
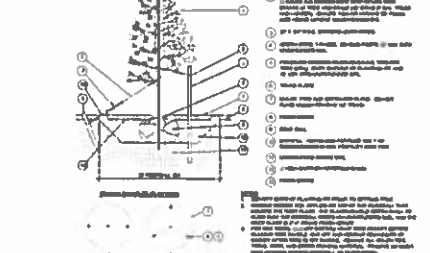
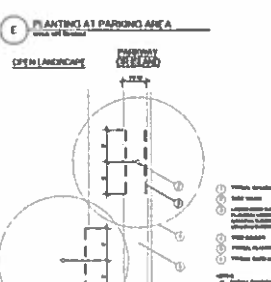
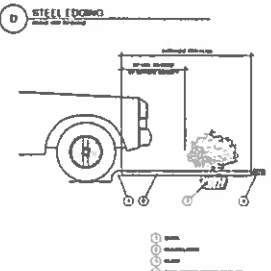
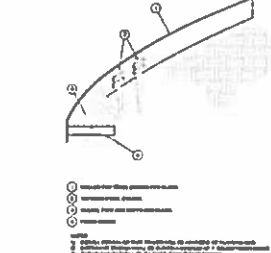
B. The contractor shall follow the applicable codes and regulations for all work.

C. The contractor shall follow the best practices for all work.

D. The contractor shall follow the drawings and specifications for all work.

E. The contractor shall follow the contract documents for all work.

F. The contractor shall follow the industry standards for all work.



**CAUTION NOTICE TO CONTRACTOR**

811

BEFORE ANY EXCAVATION OR DRILLING WORK IS PERFORMED, THE CONTRACTOR SHALL CALL 811 TO LOCATE ALL UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE.

**7. NOTES**

A. All dimensions are in feet and inches unless otherwise noted.

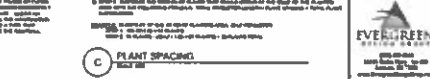
B. All materials shall be of the highest quality available.

C. The contractor shall be responsible for the accuracy of all measurements and calculations.

D. The contractor shall be responsible for the coordination of all trades.

E. The contractor shall be responsible for the completion of the work within the specified time frame.

F. The contractor shall be responsible for the payment of all bills and taxes.



**THE DIMENSION GROUP**

11500 W. ALPINE BLVD. SUITE 100  
DENVER, CO 80231  
TEL: 303.733.1100  
WWW.DIMENSIONGROUP.COM

**EVERGREEN WITH A SEED**

11500 W. ALPINE BLVD. SUITE 100  
DENVER, CO 80231  
TEL: 303.733.1100  
WWW.EVERGREENWITHASEED.COM

**PLANTING DETAILS & SPECIFICATIONS**

1. ELEVATION: 1000 FT  
2. WINDSPEED: 10 MPH  
3. TEMPERATURE: 50°F  
4. HUMIDITY: 50%

**LP-2**



(11)

Case ZDC-06-2020  
Responses Received Inside Required 200 Notification Area  
Support: 2 Oppose: 1

Proprietor	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
173010	HAYES ALAN J & JANCY M	0.3187	LOT 18 BLK 1 COLONIAL AC 1 .3187 AC	104 APACHE CT	WAXAHACHE	TX	75167	104 APACHE CT WAXAHACHE TX 75165
173011	CONANT PAUL F & VADA L	0.3258	19 1 COLONIAL AC 1	102 APACHE CT	WAXAHACHE	TX	75185	102 APACHE CT WAXAHACHE TX 75185
173012	SHINE GARY D & DEAN L	1.3971	LOT 20 BLK 1 COLONIAL AC 1 .3971 AC	104 APACHE CT	WAXAHACHE	TX	75185	104 APACHE CT WAXAHACHE TX 75185
179000	BUFFALO CREEK PLAZA LLC	30.479	5 J B & A ADAMS, 383 J GOOCH 30.479 ACRES	440 GINGERBREAD LN	WAXAHACHE	TX	75185	8 FM 813 WAXAHACHE TX 75165
184249	AMERITAI PARTNERSHIP	68.49	393 J GOOCH & 5 J B & A ADAMS 68.49 ACRES	1015 FERRIS AVE	WAXAHACHE	TX	75185	HIGHWAY 287 WAXAHACHE TX 75165
193839	WAXAHACHE ISD	12.397	393 J GOOCH HIGH SCHOOL 12.397 ACRES	411 N GIBSON ST	WAXAHACHE	TX	75185	1000 N HIGHWAY 77 WAXAHACHE TX 75165
207721	ROYE FAMILY ENTERPRISES L P	8	1 ROYE ADDN 8 ACRES	1324 BROWN ST # A	WAXAHACHE	TX	75165	1324 BROWN ST WAXAHACHE TX 75165
240368	1328 BROWN STREET LLC % HEALTH CARE REIT INC	3.2402	LOT 1 BLK 1 CHAPMAN CORNER 3.2402 AC	4500 DORR ST	TOLEDO	OH	43616	1328 BROWN ST WAXAHACHE TX 75165
278230	INDIAN DRIVE HOLDINGS LLC	1.187	LOT 2 BLK 1 DENTAL PLACE ADDN 1.187 AC	200 N ELM ST	WAXAHACHE	TX	75165	101 INDIAN DR WAXAHACHE TX 75165



(11)

Notice of Public Hearing  
Case Number: ZDC-96-2020



SMITH GARY D & DAWN  
100 APACHE CT  
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 11, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, August 17, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Keaton L. Mai, The Dimension Group, for a Specific Use Permit (SUP) for Convenience Store and Gasoline Sales use within a General Retail zoning district located at the SW corner of Brown Street and US Highway 287 (being a portion of Property ID 179000) - Owner: BUFFALO CREEK PLAZA LLC (ZDC-96-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-96-2020

City Reference: 173012

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 5, 2020* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

See Attachment

Gary Don Smith  
Signature

July 30, 2020  
Date

GARY DON SMITH - owner  
Printed Name and Title

100 APACHE Ct. WAX TX  
Address

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*

(11)

## Wright, Destiny

---

**From:** Gary Smith <garydonsmith47@yahoo.com>  
**Sent:** Thursday, July 30, 2020 2:18 PM  
**To:** Planning@waxahachie.com  
**Subject:** Fw: Case Number: ZDC-96-2020  
**Attachments:** City of Waxahachie20200730\_11263520.pdf

Hello,

My name is Gary Don Smith. My wife Dawn and I live at the corner of Brown & Stadium at 100 Apache Ct.

We are opposing this request only because of one major problem that has been going on for the past 10 year's since we have lived at this address. I confronted the city several year's ago about the car accidents at Brown & Stadium but nothing has changed. I would love for the city to go in and count how many car accidents have occurred at the corner of **Brown & Stadium** even for the past (5) five year's. I think you will be very surprised with those figures????? Luckily there hasn't been any children hurt (that we are aware of) that have walked to and from school over the year's.

No matter what (Convenient Store or Shopping Center) - will cause another problem at **Stadium, Brown and Indian.**

### **This is our issue:**

I would think that the city will be opening up **Indian & Brown** at the traffic light in order for the traffic to go straight into the new parking lot of Buffalo Creek? At that same traffic light, I would also think the city would add a left turn signal for patrons wanting to turn left out of Buffalo Creek towards downtown, which will work great.

But, for the patrons turning right out of the Buffalo Creek parking lot on to Brown will conflict with the Stadium street traffic trying to turn left on to **Brown**. Every single accident over the year's has been caused by people trying to turn left from **Stadium** on to **Brown**, especially bad for morning and evening traffic, not counting when school starts back up.

To sum it all up, we would not care *if this traffic situation could be resolved*. We do not want to stop anyone from opening a business. A good thought for this is, I do believe that a convenient store with gas pumps at Brown and Indian would more than likely take some of the busy traffic off of Hwy 77. So that would be a good thing for Waxahachie!

Warm regards,

Gary & Dawn Smith

-GDSMG-

Gary Don Smith Music Group

100 Apache Ct.

Waxahachie, TX 75165

214-399-3417 \* garydonsmith47@yahoo.com



(11)

RECEIVED  
8/11/20

City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-96-2020

BUFFALO CREEK PLAZA LLC  
440 GINGERBREAD LN  
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 11, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, August 17, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Keaton L. Mai, The Dimension Group, for a Specific Use Permit (SUP) for Convenience Store and Gasoline Sales use within a General Retail zoning district located at the SW corner of Brown Street and US Highway 287 (being a portion of Property ID 179000) - Owner: BUFFALO CREEK PLAZA LLC (ZDC-96-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-96-2020

City Reference: 179000

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 5, 2020* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

Joe Rust  
Signature

Joe Rust, owner  
Printed Name and Title

8-4-20  
Date

440 Gingerbread Ln.  
Address  
Waxahachie, TX 75165

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*



(11)

RECEIVED  
8/5/20

City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-96-2020  
◇◇◇◇

INDIAN DRIVE HOLDINGS LLC  
200 N ELM ST  
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 11, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, August 17, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- 1. Request by Keaton L. Mai, The Dimension Group, for a Specific Use Permit (SUP) for Convenience Store and Gasoline Sales use within a General Retail zoning district located at the SW corner of Brown Street and US Highway 287 (being a portion of Property ID 179000) - Owner: BUFFALO CREEK PLAZA LLC (ZDC-96-2020)

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Case Number: ZDC-96-2020

City Reference: 278239

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 5, 2020* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT                       OPPOSE

Comments:

\_\_\_\_\_  
\_\_\_\_\_

Mark Singleton  
Signature

8/4/20  
Date

Mark Singleton  
Printed Name and Title

200N Elm St Waxahachie  
Address  
TX 75165

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*

(13)

# Planning & Zoning Department Zoning Staff Report

**Case: ZDC-87-2020**



**MEETING DATE(S)**

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

**CAPTION**

**Public Hearing** on a request by Terry Nay, The Wash on Brown, for a Specific Use Permit (SUP) for Auto Laundry or Car Wash use within a General Retail zoning district located at 2201 Brown Street (Property ID 278472) - Owner: THE NAY COMPANY INC (ZDC-87-2020)

**APPLICANT REQUEST**

The applicant is requesting a deviation from Ordinance 3019 that requires the applicant to construct a masonry (drive-thru) screening wall on the property.

**CASE INFORMATION**

*Applicant:* Terry Nay, The Wash on Brown St.

*Property Owner(s):* The Nay Co., Inc.

*Site Acreage:* 0.6584 acres

*Current Zoning:* General Retail

*Requested Zoning:* General Retail with Amended Ordinance

**SUBJECT PROPERTY**

*General Location:* 2201 Brown St.

*Parcel ID Number(s):* 278472

*Existing Use:* The Wash on Brown St. (Car Wash)

*Development History:* On May 21, 2018, City Council approved a Specific Use Permit, SU-18-0034, for the subject property.

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	PD	The Village at Waxahachie (Currently Undeveloped)
East	GR	Social Security Administration Office
South	PD-C & PD-GR	Office Uses/Brookdale Waxahachie Assisted Living
West	PD	The Village at Waxahachie (Currently Undeveloped)

(13)

*Future Land Use Plan:*

Office

*Comprehensive Plan:*

This land use type is intended for businesses such as banks, insurance agencies, and accounting offices. Office land uses are generally compatible with residential area, with the exception of high-rise office buildings. Land designated for office is appropriate along U.S. Highway 287, at a close proximity to IH-35E within Mixed Use Nonresidential areas, as well as within the Medical District.

*Thoroughfare Plan:*

The subject property is accessible via Brown St.



*Site Image:*

### **PLANNING ANALYSIS**

#### **Purpose of Request:**

The applicant is requesting a deviation from Ordinance 3019 that requires the applicant to construct a masonry (drive-thru) screening wall on the property.

#### **Proposed Use:**

On May 21, 2018, City Council approved a Specific Use Permit to construct a car wash at 2201 Brown St. (The Wash on Brown St.). Within the exhibits approved by City Council, the Site Plan displayed a masonry wall that was ultimately not constructed by the applicant for the site.

Per the applicant, the masonry wall was not constructed due to:

- Contractors need to run all major utilities under the approved and proposed location of said wall, (Natural Gas, Water, and electrical).
- Needed to change the length of three raised curbed entrance isles to avoid causing traffic backups on the shared approach/driveway during construction. This in turn moved said screen wall 40 ft. closer to the building, but alleviated the traffic congestion concern.
- It was determined that a screen wall would cause a significant risk to the safety and security of the customers and the sites of three Point of Sale kiosks.
- The wall, had it been constructed, would give a "screen" for criminals, providing cover for them to be hidden from public view.



(13)

Overall, due to City Council originally approving a Site Plan that displayed a masonry screen wall, staff believes that the applicant should still provide the required screen wall for the property. If the Planning and Zoning Commission does not require the applicant to construct the wall, staff suggests that the applicant provide additional landscaping to the site to replace the required screening wall.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 7 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**APPLICANT RESPONSE TO CONCERNS**

- 1. The applicant understands staff concerns and intends to state his reasoning at the August 11, 2020 Planning and Zoning meeting.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial**  
Due to City Council originally approving a Site Plan that displayed a masonry (drive-thru) screen wall, staff believes that the applicant should still provide the required screen wall for the property. If the Planning and Zoning Commission does not require the applicant to construct the wall, staff suggests that the applicant provide additional landscaping to the site to replace the required screening wall.
- Approval, as presented.
- Approval, per the following comments:

**ATTACHED EXHIBITS**

- 1. Ordinance 3019 (Current Ordinance)
- 2. Letter of Request

**APPLICANT REQUIREMENTS**

- 1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



(13)

**ORDINANCE NO. 3019**

**AN ORDINANCE AUTHORIZING A SPECIFIC USE PERMIT (SUP) TO PERMIT AN AUTO LAUNDRY OR CAR WASH USE WITHIN A GENERAL RETAIL (GR) ZONING DISTRICT, LOCATED AT THE NORTHEAST CORNER OF US HWY 287 BYPASS SERVICE ROAD AT FM 813, IN THE CITY OF WAXAHACHIE, ELLIS COUNTY, TEXAS, BEING IN THE R. RUSSELL SURVEY, ABSTRACT NO. 911 (NAY CAR WASH ADDITION), AND ORDERING THE CHANGING OF THE ZONING MAP THEREOF IN ACCORDANCE WITH SAID CHANGE.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WAXAHACHIE, TEXAS:

WHEREAS, the City Council of the City of Waxahachie having heretofore adopted a zoning ordinance and map showing the classification of the various property located within the city limits of said City; and

WHEREAS, the described property is classified in said ordinance and any amendments thereto as GR; and

WHEREAS, a proper application for an SUP has been made in accordance with the zoning ordinances in the City of Waxahachie and said application has been assigned case number SU-18-0034. Said application having been referred to the Planning and Zoning (P&Z) Commission was recommended by the P&Z Commission for approval and the issuance thereof; and

WHEREAS, proper notification has been published for the time and in the manner as prescribed by the city ordinance of the City of Waxahachie for a public hearing thereon; and,

WHEREAS, a proper hearing was held as required by law and the Council having heard all arguments for and against said SUP;

NOW, THEREFORE, this property is rezoned from GR to GR, with an SUP in order to permit an Auto Laundry or Car Wash use on the following property: in the R. Russell Survey, Abstract No. 911 (Nay Car Wash Addition), which is shown on Exhibit A, in accordance with the Site Layout Plan attached as Exhibit B, Elevations attached as Exhibit C, Landscape Plan attached as Exhibit D, and Further Details attached as Exhibit E.

An emergency is declared to exist in that needed and approved improvements will be unnecessarily delayed if this ordinance is not effective upon passage and this ordinance is to be effective upon passage.

The zoning map of the City of Waxahachie is hereby authorized and directed to be demarked in accordance therewith.

PASSED, APPROVED AND ADOPTED on this 21<sup>st</sup> day of May, 2018.



ATTEST:

  
City Secretary

  
MAYOR

(13)



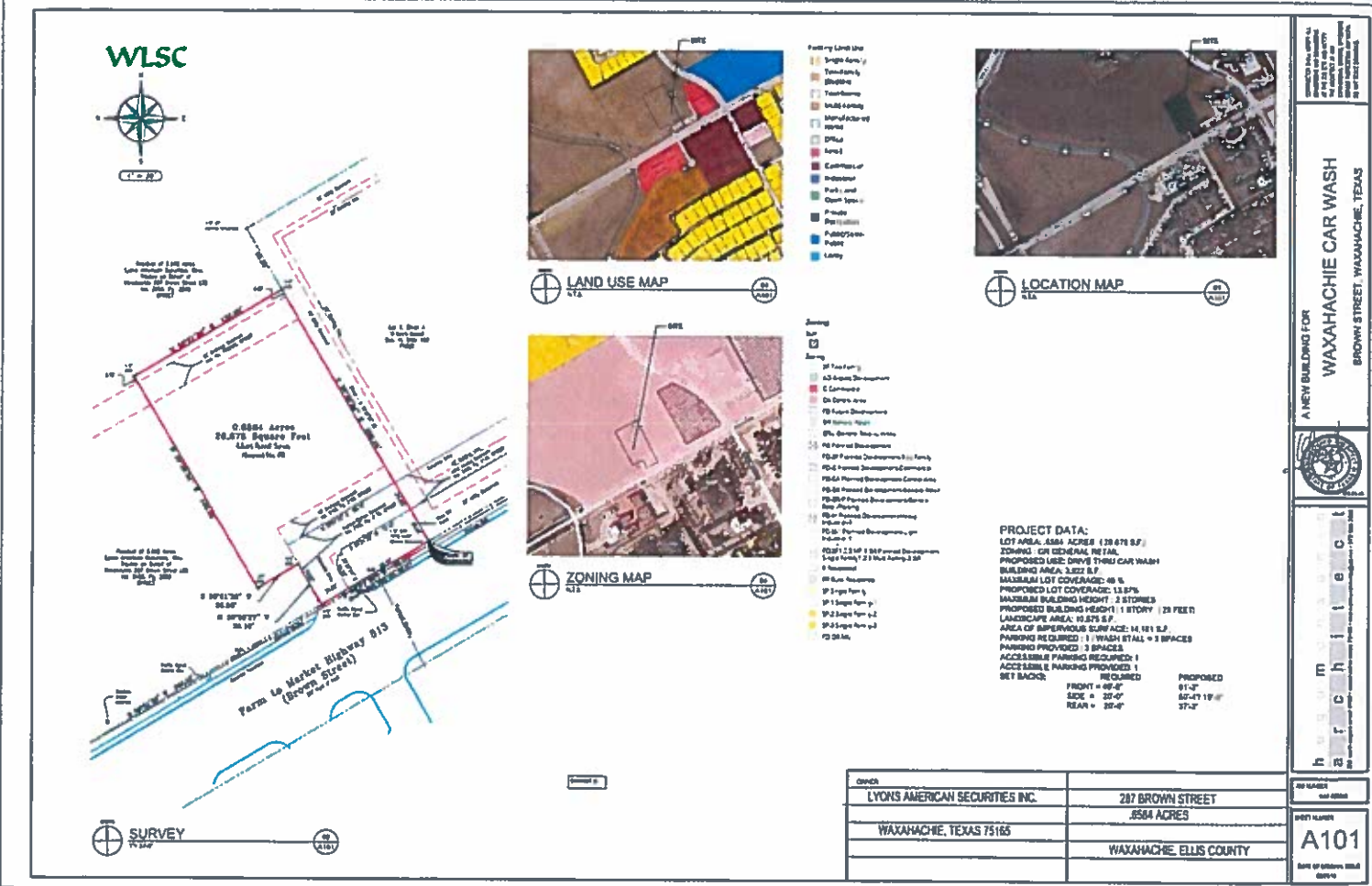
**SU-18-0034 911 R Russell-Auto Laundry  
Location Exhibit**

**EXHIBIT A**

 SU-18-0034



(13)



WLSC



LAND USE MAP



ZONING MAP

- Existing Land Use
- Single-Family Residential
  - Two-Family Residential
  - Three-Family Residential
  - Manufacturing
  - Office
  - Public
  - Community
  - Industrial
  - Park and Open Space
  - Private
  - Public
  - Utility
  - Other

- Zoning
- SP-1 Single-Family
  - SP-2 Single-Family
  - SP-3 Single-Family
  - SP-4 Single-Family
  - SP-5 Single-Family
  - SP-6 Single-Family
  - SP-7 Single-Family
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  - SP-99 Single-Family
  - SP-100 Single-Family



LOCATION MAP

**PROJECT DATA:**  
 LOT AREA: 0.6584 ACRES (28,678 S.F.)  
 ZONING: CR GENERAL RETAIL  
 PROPOSED USE: DRIVE THRU CAR WASH  
 BUILDING AREA: 3,822 S.F.  
 MAXIMUM LOT COVERAGE: 49.6%  
 PROPOSED LOT COVERAGE: 12.8%  
 MAXIMUM BUILDING HEIGHT: 2 STORIES  
 PROPOSED BUILDING HEIGHT: 1 STORY (25 FEET)  
 LANDSCAPE AREA: 10,875 S.F.  
 AREA OF IMPERVIOUS SURFACE: 14,181 S.F.  
 PARKING REQUIRED: 1 WASH STALL = 3 SPACES  
 PARKING PROVIDED: 3 SPACES  
 ACCESSIBLE PARKING REQUIRED: 1  
 ACCESSIBLE PARKING PROVIDED: 1

SET BACKS	REQUIRED	PROPOSED
FRONT = 49'-0"	61'-3"	61'-3"
SIDE = 33'-0"	37'-4 1/2"	37'-4 1/2"
REAR = 33'-0"	37'-4 1/2"	37'-4 1/2"

OWNER	LYONS AMERICAN SECURITIES INC.	287 BROWN STREET
		0.6584 ACRES
	WAXAHACHIE, TEXAS 75165	
		WAXAHACHIE, ELLIS COUNTY

A NEW BUILDING FOR  
**WAXAHACHIE CAR WASH**  
 BROWN STREET, WAXAHACHIE, TEXAS

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PROJECT NUMBER  
**A101**

DATE OF PRELIMINARY PLAN  
 08/19/19





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WEST ELEVATION  
12/11/12



SOUTH ELEVATION  
12/11/12



SOUTH ELEVATION (STREET VIEW)  
12/11/12



EAST ELEVATION  
12/11/12



NORTH ELEVATION  
12/11/12

-  STUCCO
-  ROOF
-  STONE

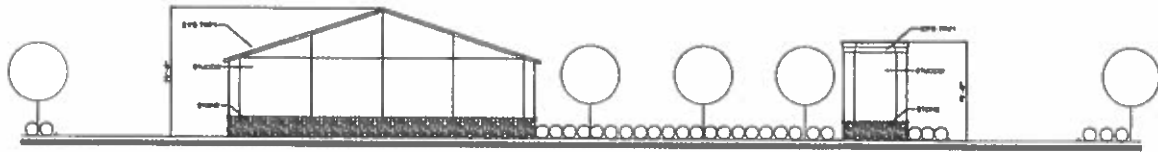
Owner	LYONS AMERICAN SECURITIES INC.	287 BROWN STREET
		.854 ACRES
	WAXAHACHIE, TEXAS 75165	WAXAHACHIE, ELLIS COUNTY

A NEW BUILDING FOR  
**WAXAHACHIE CAR WASH**  
 BROWN STREET, WAXAHACHIE, TEXAS

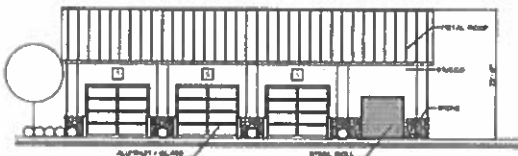
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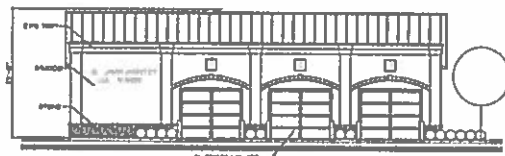
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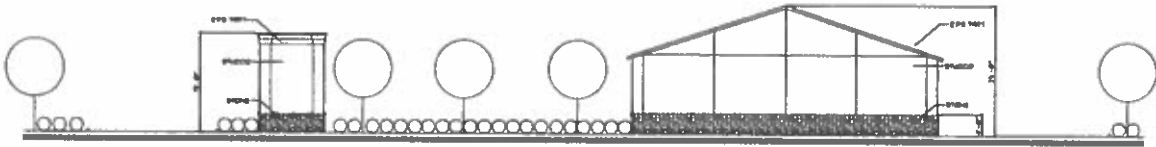
WEST ELEVATION  
1/4" = 1'-0"



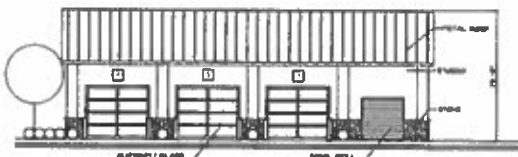
NORTH ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION (STREET VIEW)  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"

FINISH GRADE

OWNER	LYONS AMERICAN SECURITIES INC.	287 BROWN STREET	CD-04-003
		6584 ACRES	Sub-0000
	WAXAHACHIE, TEXAS 75185		000114-000
		WAXAHACHIE, ELLIS COUNTY	<b>A104</b>
			DATE OF ORIGINAL SUBM: 02-09-00

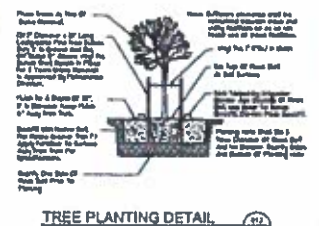
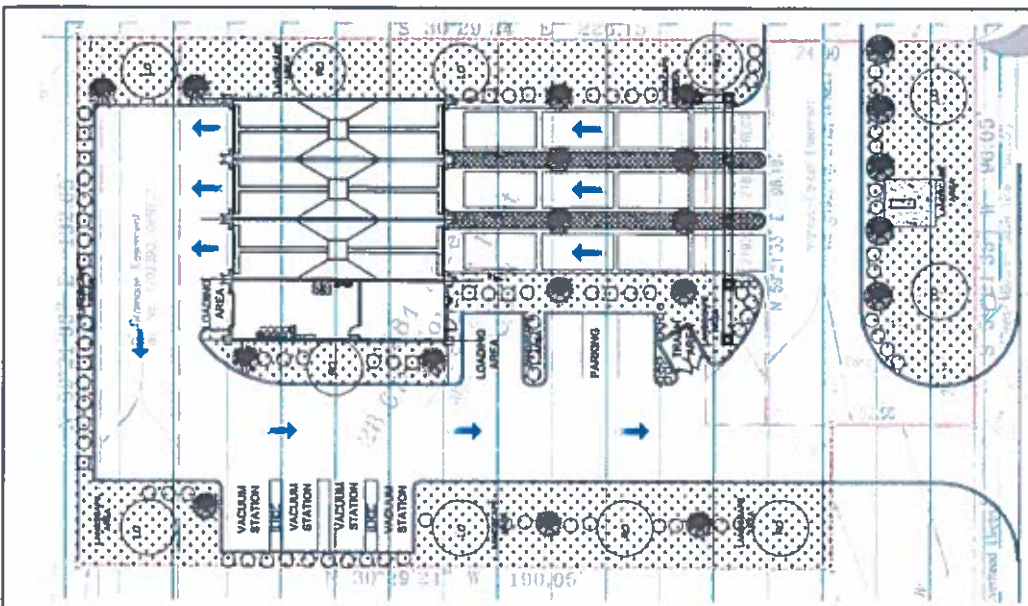
CONSULTING ENGINEER  
FOR THE PROJECT AND CITY  
OF WAXAHACHIE, TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10421  
EXPIRES 02-09-2003

A NEW BUILDING FOR  
**WAXAHACHIE CAR WASH**  
BROWN STREET, WAXAHACHIE, TEXAS

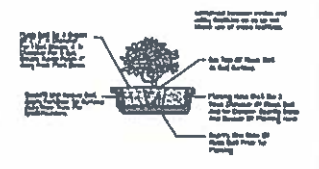


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TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

- LANDSCAPE NOTES**
- 1) CONTRACTOR SHALL VERIFY ALL TREE LOCATIONS AND COORDINATES OF EXISTING TREES TO BE MAINTAINED.
  - 2) CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF LANDSCAPE.
  - 3) CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF LANDSCAPE TO AVOID DAMAGE.
  - 4) ALL STUMP AND BRANCHES SHALL BE REMOVED AND A 2" DIA. 12" DEEP HOLE SHALL BE DRILLED IN THE STUMP.
  - 5) LANDSCAPE MATERIAL SHALL BE 100% WASHED ALL GRAVEL SHALL BE 1/2" MAXIMUM SIZE AND FILLING SHALL BE 1/2" MAXIMUM SIZE.
  - 6) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.
  - 7) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.
  - 8) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.
  - 9) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.
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  - 11) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.
  - 12) ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY ALL APPLICABLE CITY ORDINANCES.

LANDSCAPE PLAN

**LANDSCAPE REQUIRED**

**BUILDING AREA - 1250 SF**  
 1. 1" CALIPER TREE 100 SF  
 2. 2" CALIPER TREE 200 SF  
 3. 3" CALIPER TREE 300 SF  
 4. 4" CALIPER TREE 400 SF  
 5. 5" CALIPER TREE 500 SF  
 6. 6" CALIPER TREE 600 SF  
 7. 7" CALIPER TREE 700 SF  
 8. 8" CALIPER TREE 800 SF  
 9. 9" CALIPER TREE 900 SF  
 10. 10" CALIPER TREE 1000 SF

REQUIRED	PROVIDED
100 SF	100 SF
200 SF	200 SF
300 SF	300 SF
400 SF	400 SF
500 SF	500 SF
600 SF	600 SF
700 SF	700 SF
800 SF	800 SF
900 SF	900 SF
1000 SF	1000 SF

SYMBOL	DESCRIPTION	QUANTITY	REMARKS
1" CALIPER TREE	1" CALIPER TREE	100	100 SF
2" CALIPER TREE	2" CALIPER TREE	200	200 SF
3" CALIPER TREE	3" CALIPER TREE	300	300 SF
4" CALIPER TREE	4" CALIPER TREE	400	400 SF
5" CALIPER TREE	5" CALIPER TREE	500	500 SF
6" CALIPER TREE	6" CALIPER TREE	600	600 SF
7" CALIPER TREE	7" CALIPER TREE	700	700 SF
8" CALIPER TREE	8" CALIPER TREE	800	800 SF
9" CALIPER TREE	9" CALIPER TREE	900	900 SF
10" CALIPER TREE	10" CALIPER TREE	1000	1000 SF

OWNER	LYONS AMERICAN SECURITIES INC.	287 BROWN STREET
		6584 ACRES
	WAXAHACHIE, TEXAS 75165	
		WAXAHACHIE, ELLIS COUNTY

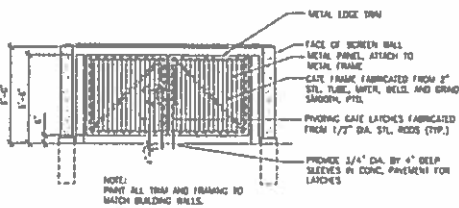
A NEW BUILDING FOR  
**WAXAHACHIE CAR WASH**  
 BROWN STREET, WAXAHACHIE, TEXAS



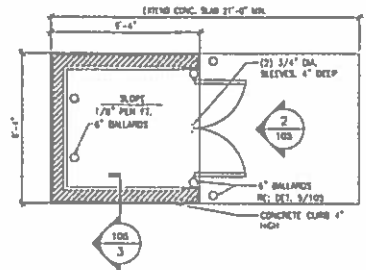
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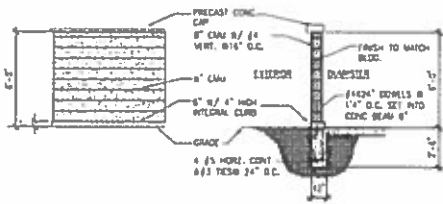
(13)



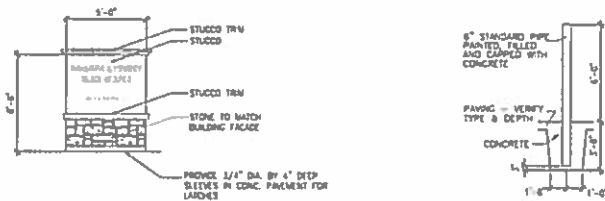
02 TRASH AREA - ELEVATION  
 1/2" - 1'-3"



01 TRASH AREA - PLAN VIEW  
 1/2" - 1'-3"



03 TRASH AREA - ELEVATION/SECTION  
 1/2" - 1'-3"



04 MONUMENT SIGN  
 1/2" - 1'-3"

05 BOLLARD DETAIL  
 1/2" - 1'-3"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK.  
 A NEW BUILDING FOR  
**WAXAHACHIE CAR WASH**  
 BROWN STREET, WAXAHACHIE, TEXAS

ARCHITECT  
 C R M I T E C  
 CONSULTING ARCHITECTS  
 1000 W. WAXAHACHIE STREET  
 WAXAHACHIE, TEXAS 75165  
 PHONE (940) 939-1111  
 FAX (940) 939-1112

OWNER	LYONS AMERICAN SECURITIES INC.	287 BROWN STREET
		.8584 ACRES
	WAXAHACHIE, TEXAS 75165	
		WAXAHACHIE, ELLIS COUNTY

PROJECT NUMBER  
**A105**  
 DATE OF DRAWING 03/27/09



(13)

July 13, 2020

City of Waxahachie,

Planning and Zoning

And

City Council

We are requesting a change/variance on a previously submitted site plan for The Wash on Brown, located at 2201 Brown Street, Waxahachie, TX 75165.

The site plans were originally approved by P&Z along with City Council over a year ago, and included a façade/screen wall at the entrance of the car wash facility that perfectly matched the front elevation of the current building.

Construction of this wall WAS NOT done due to several complicating issues including sub-contractors need to run all major utilities under the approved and proposed location of said wall, (Natural Gas and Water, and electrical).

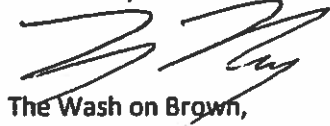
We needed to change the length of 3 raised curbed entrance isles to avoid causing traffic back ups on the shared approach/driveway during construction, this unturned moved said screen wall 40 ft. closer to the building, but alleviated the traffic congestion concern. However, this put the screen wall structural piers right on top of already installed utilities, preventing the drilling of sub-grade piers to avoid damaging underground utilities.

Upon further construction review, it was determined that a screen wall, (though it looked as if it work on the site plans), would cause a significant risk to the safety and security of the customers and the sites 3 Point of Sale kiosks.

The wall, had it been constructed, would give a "screen" for criminals providing cover for them to be hidden from public view. This is NOT a liability the end owner is interested in having and opted to avoid building such a liability.

We are asking that this portion of the approved plan be waived or provided a variance by the city for the safety of the customers and liability of the owner.

Thank You,



The Wash on Brown,

Terry Nay, Owner

(15)

# Planning & Zoning Department

## Zoning Staff Report

Case: ZDC-88-2020



**MEETING DATE(S)**

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

**CAPTION**

**Public Hearing** on a request by Ryan Morrow for a Specific Use Permit (SUP) for Trailer or Truck Sales or Rental use within a General Retail zoning district located at 3480 S Interstate 35 (Property ID 179036) - Owner: MORRIS COX (ZDC-88-2020)

**APPLICANT REQUEST**

The applicant is requesting to use an existing vacant building, located at 3480 S. Interstate 35, as a Truck Sales and Fleet Center.

**CASE INFORMATION**

*Applicant:* Ryan Morrow, Classic Truck Sales

*Property Owner(s):* Morris G. Cox

*Site Acreage:* 3.11 acres

*Current Zoning:* General Retail

*Requested Zoning:* General Retail w/ SUP

**SUBJECT PROPERTY**

*General Location:* 3480 S. IH-35

*Parcel ID Number(s):* 179036

*Existing Use:* Vacant Building (Former Nexus Emergency Group)

*Development History:* N/A

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	N/A	Interstate Highway 35 Service Road
East	GR	National Wholesale Supply Waxahachie
South	FD	Ellis County Area Engineer and Maintenance Facility
West	GR	Undeveloped Land

*Future Land Use Plan:* Mixed Use Nonresidential

(15)

***Comprehensive Plan:***

Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

***Thoroughfare Plan:***

The subject property is accessible via Interstate Highway 35E service road.

***Site Image:***



**PLANNING ANALYSIS**

**Purpose of Request:**

The applicant is requesting to use an existing vacant building, located at 3480 S. Interstate 35, as a Truck Sales and Fleet Center.

**Proposed Use:**

The applicant, Classic Truck Sales, intends to move its existing business from Dallas to the City of Waxahachie to continue to operate as Truck Sales and Fleet Center. Per the Operational Plan, the applicant intends to buy (wholesale) slightly used trucks and remarket them to various markets across the US. The main source of buyer will be internet based, in which trucks are sold to various markets paid for and delivered without ever even coming to the facility. The applicant also intends to keep some equipment on the property for inspection by the buyer, or for local representation.

The proposed business will consist of five (5) employees and will have business hours of 8 a.m. to 5 p.m. Monday thru Friday with closures on all major holidays.

(15)

The applicant has agreed to provide the following enhancements to the site:

- Concrete in the front portion of the property
- Additional landscaping along the side and front of the property
- Ornamental iron along the front and side(s) of the front portion of the property

No semi-trucks or trailers will be allowed on the property prior to the completion of site enhancements.

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, 7 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**PROPERTY OWNER NOTIFICATION RESPONSES**

Staff has received one (1) letter of support for the proposed development.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
  1. All required enhancements must be completed on the site before any trucks are allowed to be displayed on the subject property.

**ATTACHED EXHIBITS**

1. Operational Plan
2. Site Plan

**APPLICANT REQUIREMENTS**

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

*Prepared by:*  
Colby Collins  
Senior Planner  
[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

*Reviewed by:*  
Shon Brooks, AICP  
Director of Planning  
[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)



July 24, 2020

**Classic Equipment Sales, LLC**

**3480 S. I-H 35E Service Road**

**Waxahachie, Texas 75165**

**RE: Operation Plan**

**To: City of Waxahachie Planning Department**

To Whom This May Concern,

I have prepared a brief description describing the nature of our business. We are a Truck Sales and fleet remarketing center for various manufacturers throughout the country. We buy (wholesale) slightly used trucks and remarket them to various markets across the US. The main source of buyer is internet based, in which trucks are sold to various markets paid for and delivered without ever even coming to our facility. We will keep some equipment on our location for inspection by the buyer or for local representation however vehicles typically sell and move fast. We are not in the storage business and nor will we look like one. Our facility will consist of approximately 5 employees to include myself the President, a CFO, 2 Salesmen, and 1 receptionist. Our facility grounds will be maintained to include weekly lawn mowing, annual painting, pruning of shrubs, trees, and flowers, fence maint, and janitorial inside and out for a clean professional look at all times. Classic will have business hours of 8 a.m. to 5 p.m. Monday thru Friday with closures to commence all major holidays. This facility will not be used as a mechanic nor parts facility to junky or non-repaired equipment will not have an appearance. My company did upwards of \$65mm in 2019 gross sales and I want to continue to grow my business within the county I reside. With this being said I will invest in my local community to help keep your standards at a high level and be a great partner for you to do so. None the less I will be bringing the sales tax and registration revenue to Ellis County. I look forward to being a Business Partner and will be a responsible owner and represent Waxahachie/Ellis county with utmost professionalism. Thank you.

Kind Regards,

Ryan Morrow

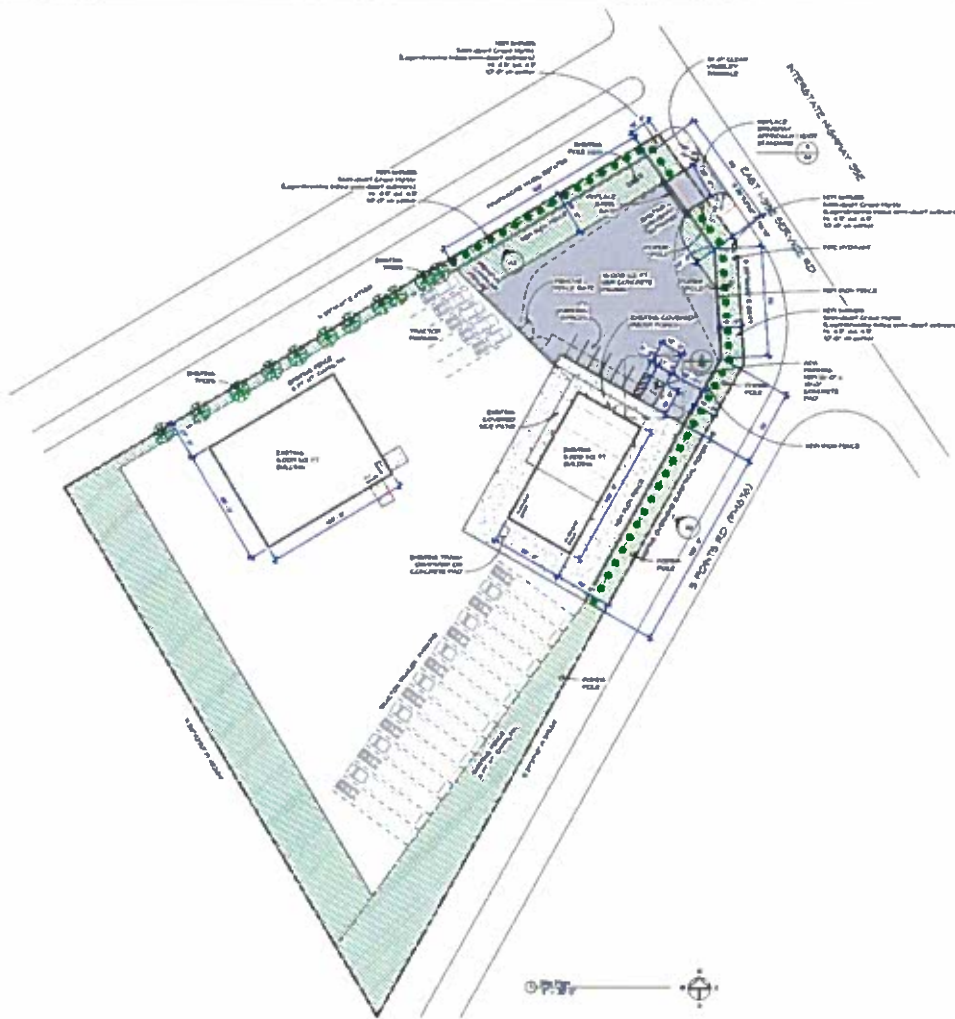
President

972-755-3986 Office 972-755-3987 Fax

34880 LBJ Freeway Dallas, Texas 75241

[www.classictrucksales.com](http://www.classictrucksales.com)

(15)



**KEY DATA SUMMARY TABLE**

ITEM	TYPE OF DEVELOPMENT	AREA (SQ FEET)	PERCENT TOTAL AREA
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%
LOT AREA	1.00	100,000	100%

**USE:**

AGRI, Commercial and Retail Type uses

**LANDSCAPE:**

1000 sq ft minimum  
1000 sq ft minimum  
1000 sq ft minimum  
1000 sq ft minimum  
1000 sq ft minimum

**PROPERTY INFO:**

Property ID: 10000  
Legal Description: 10000 sq ft of land  
Address: 10000 sq ft of land  
Zone: 10000 sq ft of land

**OWNER:**

James C. Armstrong  
10000 sq ft of land  
10000 sq ft of land  
10000 sq ft of land

**ZONING CASE NUMBER:** ZOC-06-2020  
**TYPE OF PLAN:** SPECIFIC USE PERMIT  
**DEVELOPMENT NAME:** CLASSIC TRUCK  
**LOT/BLOCK DESIGNATION:** JAMES C. ARMSTRONG SURVEY  
**ABSTRACT NO.:** 6  
**NUMBER OF LOTS:** 1  
**TOTAL ACREAGE:** 3.11  
**CITY/STATE/COUNTY:** PAXAHACHE, TEXAS, ELLIS COUNTY

**NOT FOR CONSTRUCTION**

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE OR IMPROVEMENT.

DATE: 10/15/2020

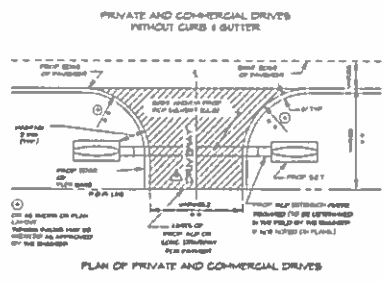
PROJECT: 10000 sq ft of land

SCALE: 1" = 100'

**Site Plan**

**A1**

(15)

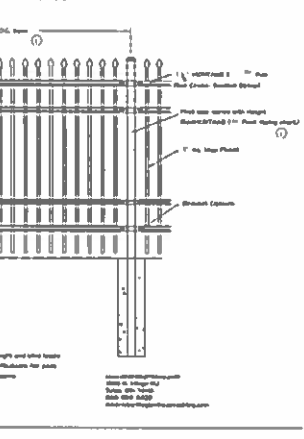
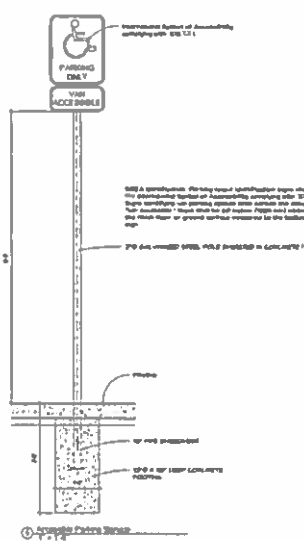


**PLAN OF PRIVATE AND COMMERCIAL DRIVES**

1. FROM PRIVATE AND COMMERCIAL DRIVES, THE TO AND FROM SLOPE SHALL BE AT LEAST 2% TO THE STREET AND TO THE STREET FROM THE DRIVE.

2. THE SLOPE OF THE DRIVEWAY SHALL BE AT LEAST 2% TO THE STREET.

3. THE SLOPE OF THE DRIVEWAY SHALL BE AT LEAST 2% TO THE STREET.



**NOTES**

1) From top elevation of finished grade and other base for verticality.

2) Note a slope not shown.

3) Number of floor surface.

**1500 Parking Sign**

1500 Parking Sign shall be installed for use by the driver to indicate the location of the parking space and to indicate the location of the parking space.

**1500 Parking Sign**

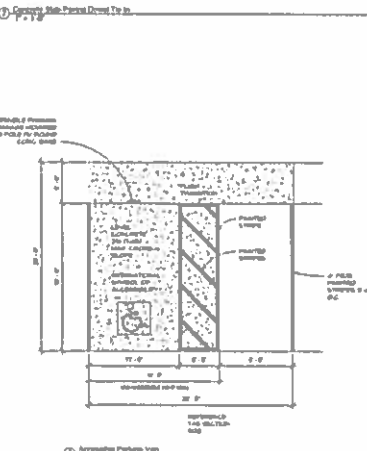
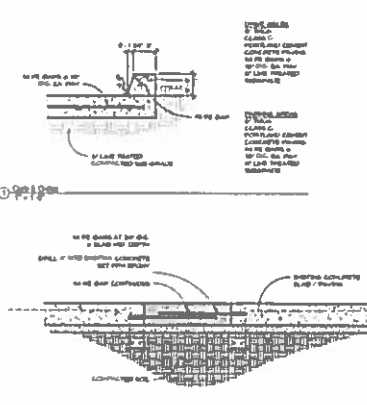
1500 Parking Sign shall be installed for use by the driver to indicate the location of the parking space and to indicate the location of the parking space.

**1500 Parking Sign**

1500 Parking Sign shall be installed for use by the driver to indicate the location of the parking space and to indicate the location of the parking space.

**1500 Parking Sign**

1500 Parking Sign shall be installed for use by the driver to indicate the location of the parking space and to indicate the location of the parking space.



**1500 Parking Sign**

1500 Parking Sign shall be installed for use by the driver to indicate the location of the parking space and to indicate the location of the parking space.

**NOT FOR CONSTRUCTION**

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OF ANY PROJECT.

THESE DETAILS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

DATE: 05/20/2019

PROJECT: 1500 Parking Sign

SCALE: 1/8" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1	05/20/2019	ISSUE FOR CONSTRUCTION

ENGINEER: [Signature]

DATE: 05/20/2019

SCALE: 1/8" = 1'-0"

REVISIONS:

**A2**

(15)

Case ZIC-08-2020  
Responses Received Inside Required 200' Notification Area  
Support 1 Oppose 0

Property ID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
179036	COX MORRIS O	3.11	0 J C ARMSTRONG 3.11 ACRES	0902 ELLSWORTH AVE.	DALLAS	TX	75214	3480 S INTERSTATE 35 WAXAHACHE, TX 75105
179100	G&R CAPITAL PROPERTIES LLC	11.93	0 J C ARMSTRONG 11.93 ACRES	607 YELL OYSTON DR	MANFIELD	TX	76803	INTERSTATE 35 WAXAHACHE TX 75105
179109	LIMBERG KEANE TH & HELEN	1.095	0 J C ARMSTRONG 1.095 ACRES	PO BOX 052	MIDLOTHIAN	TX	76065	3500 S INTERSTATE 35 WAXAHACHE TX 75105
184002	PLEASANT MANOR SENIOR CARE LLC C/O GRANITE INVESTMENTS	4.050	430 J HARRIS 4.050 ACRES	2 PARK PLZ 67E 600	IRVINE	CA	92614	3650 S INTERSTATE 35 WAXAHACHE TX 75105
187049	DYN HOLDINGS LTD	2.7	050 T LOBAR 2.7 ACRES	1550 BUENA VISTA	WAXAHACHE	TX	75167	FM 076 WAXAHACHE TX 75167
190475	ESTESS FAMILY LTD PTNS	303.982	WM STEWART & 051 T LOBAR & 430 J HARRIS 303.982 ACRES	5315 S DENTWOOD DR	DALLAS	TX	75220	6 INTERSTATE 35 WAXAHACHE TX 75105
193037	TEXAS STATE OF HIGHWAY DEPT	7.37	0 J C ARMSTRONG 7.37 ACRES	124 FM 076	WAXAHACHE	TX	75167	FM 076 WAXAHACHE TX 75167



(15)



City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-88-2020

COX MORRIS G  
6902 ELLSWORTH AVE  
DALLAS, TX 75214

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 11, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, August 17, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- 1. Request by Ryan Morrow for a Specific Use Permit (SUP) for Trailer or Truck Sales or Rental use within a General Retail zoning district located at 3480 S Interstate 35 (Property ID 179036) - Owner: MORRIS COX (ZDC-88-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-88-2020

City Reference: 179036

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on **Wednesday, August 5, 2020** to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT                       OPPOSE

Comments:

*This type business is compatible with TX Hwy Dept which is a neighbor + also the businesses across I-35. It would create more activity, sales tax for city. Check out their present location on south I-35 + see its clean, well-maintained operation*

Morris G. Cox  
Signature

7-27-20  
Date

MORRIS G COX - PROP. Owner  
Printed Name and Title

6902 Ellsworth Ave  
Address  
Dallas, TX 75214

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*

(17)

# Planning & Zoning Department

## Zoning Staff Report



**Case: ZDC-91-2020**

**MEETING DATE(S)**

*Planning & Zoning Commission:* August 11, 2020

*City Council:* August 17, 2020

**CAPTION**

**Public Hearing** on a request by Clay Cristy, Claymoore Engineering, for a Specific Use Permit (SUP) for Pole Sign use within a Light Industrial-1 zoning district located at the SW corner of FM 66 and Interstate 35E (Property ID 174460) - Owner: DML LAND LLC (ZDC-91-2020)

**CASE HISTORY**

At the City Council meeting, held February 17, 2020, City Council voted 4-1 to approve a drive through establishment (ZDC-000004-2020 - McDonald's), and required the applicant to submit a separate sign package as a separate case for review to city staff.

**APPLICANT REQUEST**

The applicant is requesting approval for a Specific Use Permit of a Sign Plan for a McDonald's Drive Through Establishment.

**CASE INFORMATION**

*Applicant:* Clay Cristy, Claymoore Engineering

*Property Owner(s):* Michael Lyle, DML Land

*Site Acreage:* 1.43 acres

*Current Zoning:* Light Industrial-1

*Requested Zoning:* Light Industrial-1 with SUP

**SUBJECT PROPERTY**

*General Location:* SW corner of FM 66 and Interstate 35E

*Parcel ID Number(s):* 174460

*Existing Use:* Currently Undeveloped

*Development History:* N/A

(17)

**Table 1: Adjoining Zoning & Uses**

Direction	Zoning	Current Use
North	LI1 & GR	Shell Gas Station/Sonic Drive-In
East	GR	Exxon Gas Station
South	LI1	Currently Undeveloped
West	LI1	Estes Electric

**Future Land Use Plan:**

Mixed Use Non-Residential

**Comprehensive Plan:**

Similar to Mixed Use Residential, land designated with this land use are intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with the remaining 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use.

**Thoroughfare Plan:**

The subject property is accessible FM 66 and a future proposed roadway by the developer.

**Site Image:**



(17)

**PLANNING ANALYSIS**

**Purpose of Request:**

The applicant is requesting approval for a Specific Use Permit of a Sign Plan for a McDonald’s Drive Through Establishment (*per City Council request*).

**Proposed Use:**

The proposed development includes a 6,003 sq. ft. building that will operate as a quick service restaurant with a drive through. The proposed development will comprise of indoor dining and a children’s play area. Per the Operational Plan, the restaurant will be open 24 hours, Sunday-Saturday.

**Signage:**

Per the original submittal, the applicant proposed a pole sign at the Northeast corner of the subject property. After Council requested that the applicant submit a separate sign package as a separate case for review to city staff, the applicant provided a new sign plan that displays a new pole sign (75 ft.) location as well as a monument sign located along the northwest boundary of the property.

**DEVELOPMENT STANDARDS**

Table 2 evaluates the dimensional standards for the proposed development (*as approved by City Council 02/17/2020*).

**Table 2: Proposed Development Standards (Light Industrial-1)**

Standard	City of Waxahachie	McDonald’s	Meets Yes/No
Min. Lot Area	7,000 sq. ft.	1.43 acres	Yes
Front Setback	40 ft.	66.7 ft.	Yes
Rear Setback	30 ft.	196.74 ft.	Yes
Side Setback	30 ft.	40.7 ft.	Yes
Maximum Height	6 Stories	1 Story	Yes
Max. Lot Coverage	60%	4.86%	Yes
Parking	60 spaces (1 per 100 sq. ft.)	63 spaces	Yes

**PUBLIC NOTIFICATIONS**

To comply with State law contained in Local Government Code Chapter 211 and the City’s public hearing notice requirements, 13 notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

**PROPERTY OWNER NOTIFICATION RESPONSES**

Staff has received one (1) letter of support for the proposed development.

**RECOMMENDATION**

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:

(17)

**ATTACHED EXHIBITS**

1. Site Plan
2. Signage Plan
3. Property Owner Notification Responses

**APPLICANT REQUIREMENTS**

1. If approved by City Council, applicant can apply for building permits from the Building and Community Services Department.

**STAFF CONTACT INFORMATION**

*Prepared by:*

Colby Collins

Senior Planner

[ccollins@waxahachie.com](mailto:ccollins@waxahachie.com)

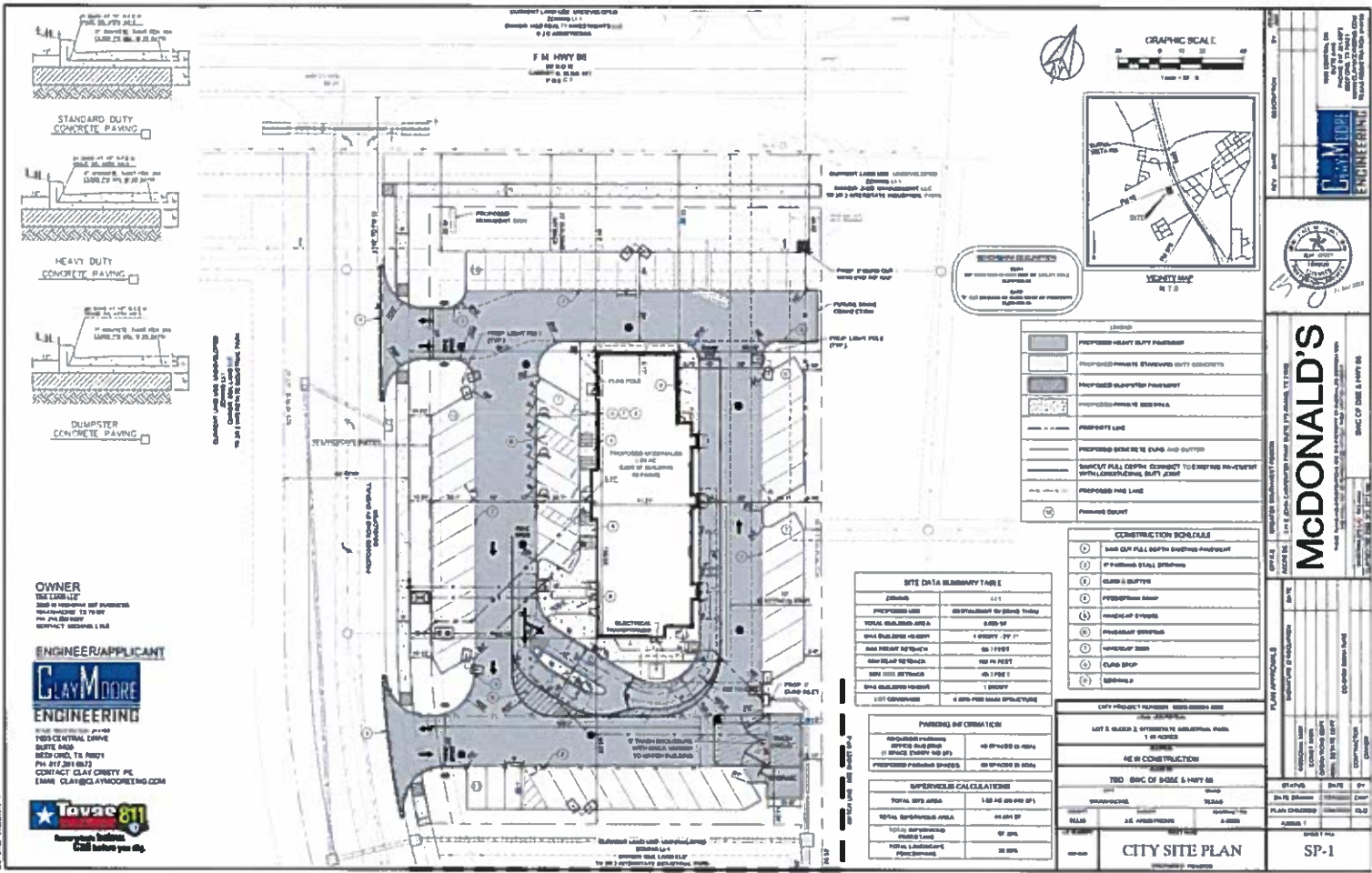
*Reviewed by:*

Shon Brooks, AICP

Director of Planning

[sbrooks@waxahachie.com](mailto:sbrooks@waxahachie.com)

(17)











(17)



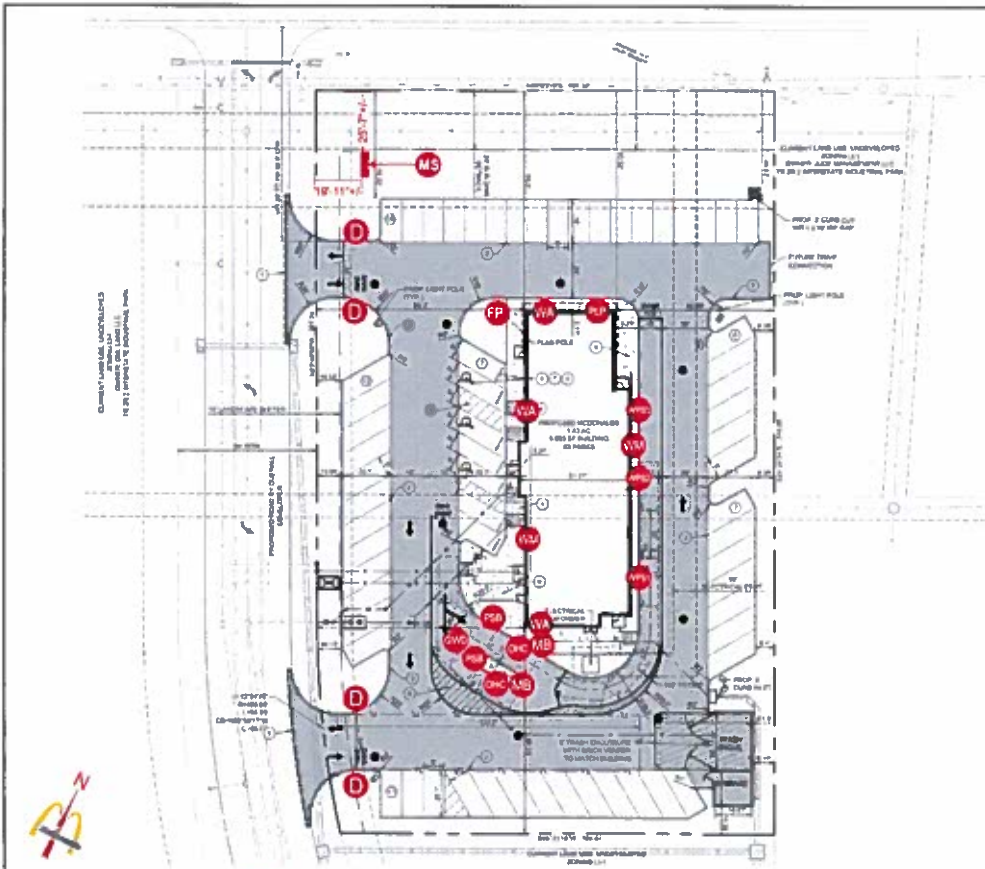
# McDonald's

F.M. HWY 66 & 35 E - WAXAHACHIE, TX 75165

## SIGN PROGRAM BOOK

Customer: MCDONALD'S	Date: 12/11/19	Prepared By: KH	Eng: -	<small>File: C:\p\mcdonald\mcdonald-sign-program-book.mcd update: 12/11/2019 10:00:00 AM</small>	<b>persona</b> SIGNS   LIGHTING   IMAGE <small>DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Waterloo, SD 57201-0210 1 800 843-9888 - www.personasigns.com</small>
Location: WAXAHACHIE, TX	File Name: 233826 - R7 - F.M. HWY 66 & 35 E - WAXAHACHIE, TX				

(17)



- PSB PRE-SELL BOARD (QTY 2)
- GWL DOUBLE ARM GATEWAY
- OHC ORDER HERE CANOPY (QTY 2)
- MB MENU BOARD (QTY 2)
- WPS WINDOW POSITION SIGN 1
- WPL WINDOW POSITION SIGN 2
- WPS WINDOW POSITION SIGN 3
- PLS 22" PLAYPLACE LETTERS
- WA WALL ARCH (QTY 3)
- WM 24" WORDMARK (QTY 2)
- D DIRECTIONAL (QTY 4)
- RS 90-200 ROAD SIGN (LOCATION ON NEXT PAGE)
- MS MONUMENT SIGN
- FP FLAG POLE

APPROVAL BOX - PLEASE INITIAL  
 CUSTOMER APPROVAL \_\_\_\_\_ Date \_\_\_\_\_

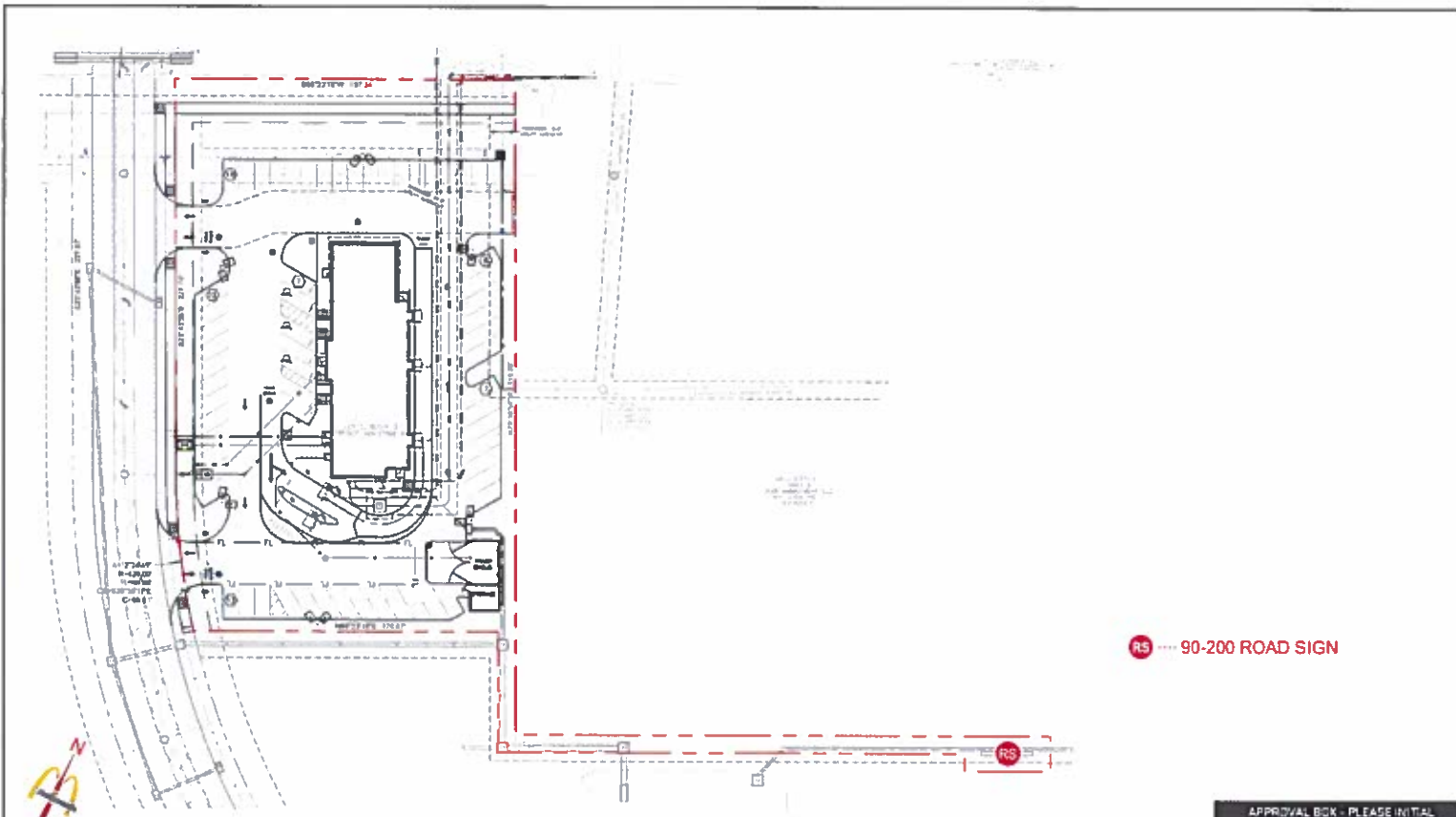
NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: <b>MCDONALD'S</b>	Date: <b>04/07/20</b>	Prepared By: <b>KH/CM/SC/KH</b>	Eng: <b>-</b>	Note: Can not be used for anything other than a preliminary drawing. All dimensions are in feet unless otherwise noted. Please refer to the project file for more information.
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233828 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>			

**persona**  
 SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY  
 700 2nd Street, Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1 800 843-9888 • www.personasigns.com

(17)



RS 90-200 ROAD SIGN

APPROVAL BOX - PLEASE INITIAL  
CUSTOMER APPROVAL  Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

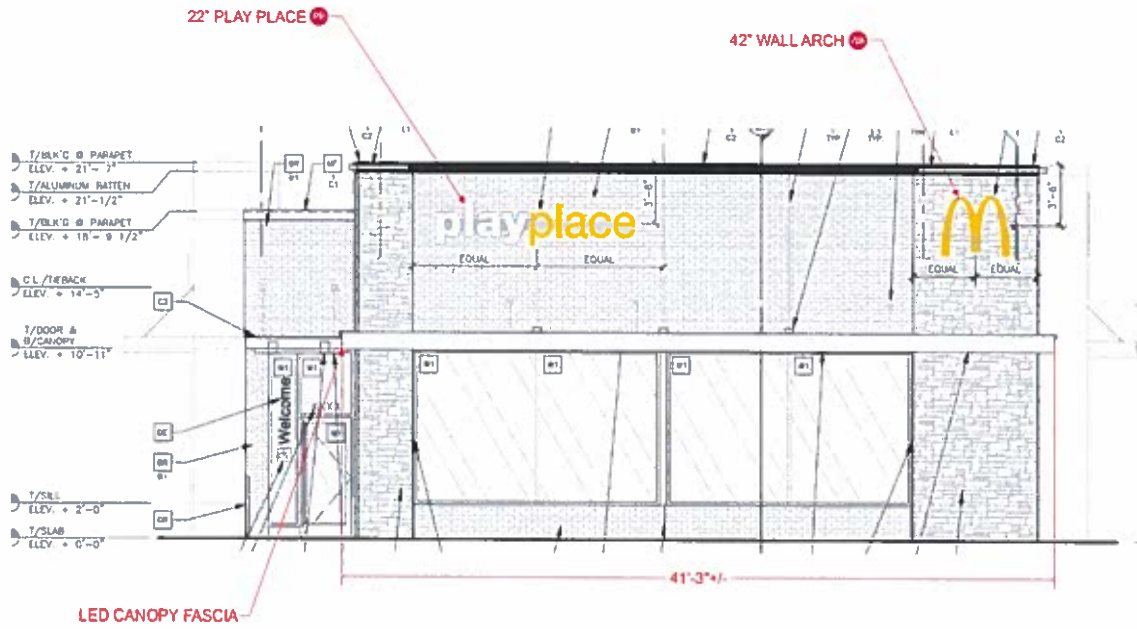
Customer: <b>MCDONALD'S</b>	Date: <b>06/30/20</b>	Prepared By: <b>JS</b>	Eng: <b>-</b>	<small>Use for reference only. Do not use for construction. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4". All dimensions are subject to change without notice. All dimensions are subject to change without notice.</small>
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>			

**persona**  
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY  
700 2nd Street Southwest  
PO Box 210  
Waterbury, SD 57201-0210  
7.800.843.8888 - www.personasigns.com

(17)

**NORTH (FRONT) ELEVATION**  
SCALE: 3/16" = 1'-0"



APPROVAL BOX - PLEASE INITIAL  
CUSTOMER APPROVAL \_\_\_\_\_ Date \_\_\_\_\_

**NOTE:** Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: <b>MCDONALD'S</b>	Date: <b>12/11/19</b>	Prepared By: <b>KH</b>	Eng: <b>-</b>
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>		

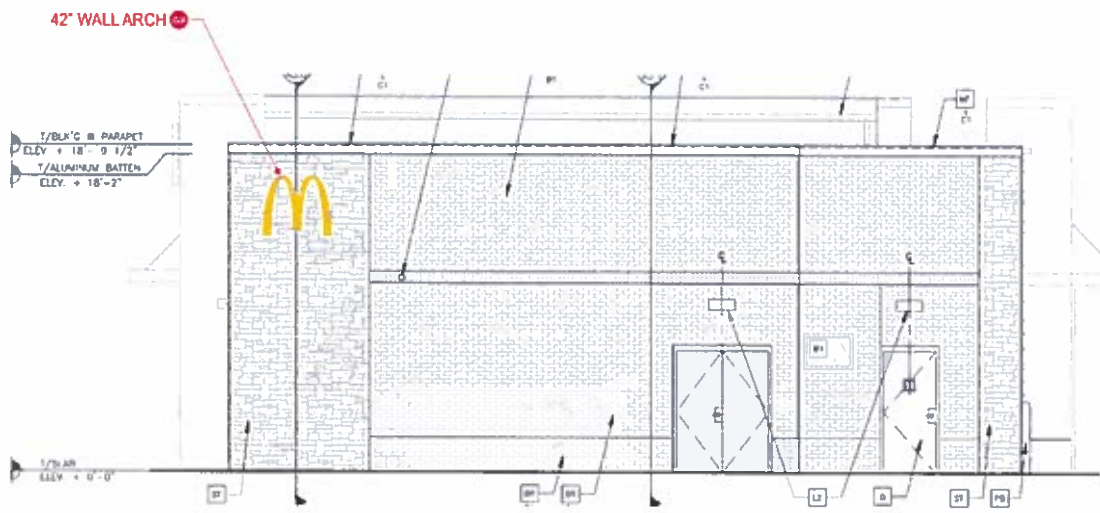
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**SOUTH (REAR) ELEVATION**  
SCALE 3/16" = 1'-0"



APPROVAL BOX - PLEASE INITIAL  
CUSTOMER APPROVAL \_\_\_\_\_ Date \_\_\_\_\_

**NOTE:** Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:  
**MCDONALD'S**  
Location:  
**WAXAHACHIE, TX**

Date:  
**2/25/20**

Prepared By:  
**KH/TJ**

Eng:  
**-**

Note: All applications must be done using a professional design. Refer to section 16.6 of the code. OTC is not responsible for any errors or omissions. Please refer to the code for more information.

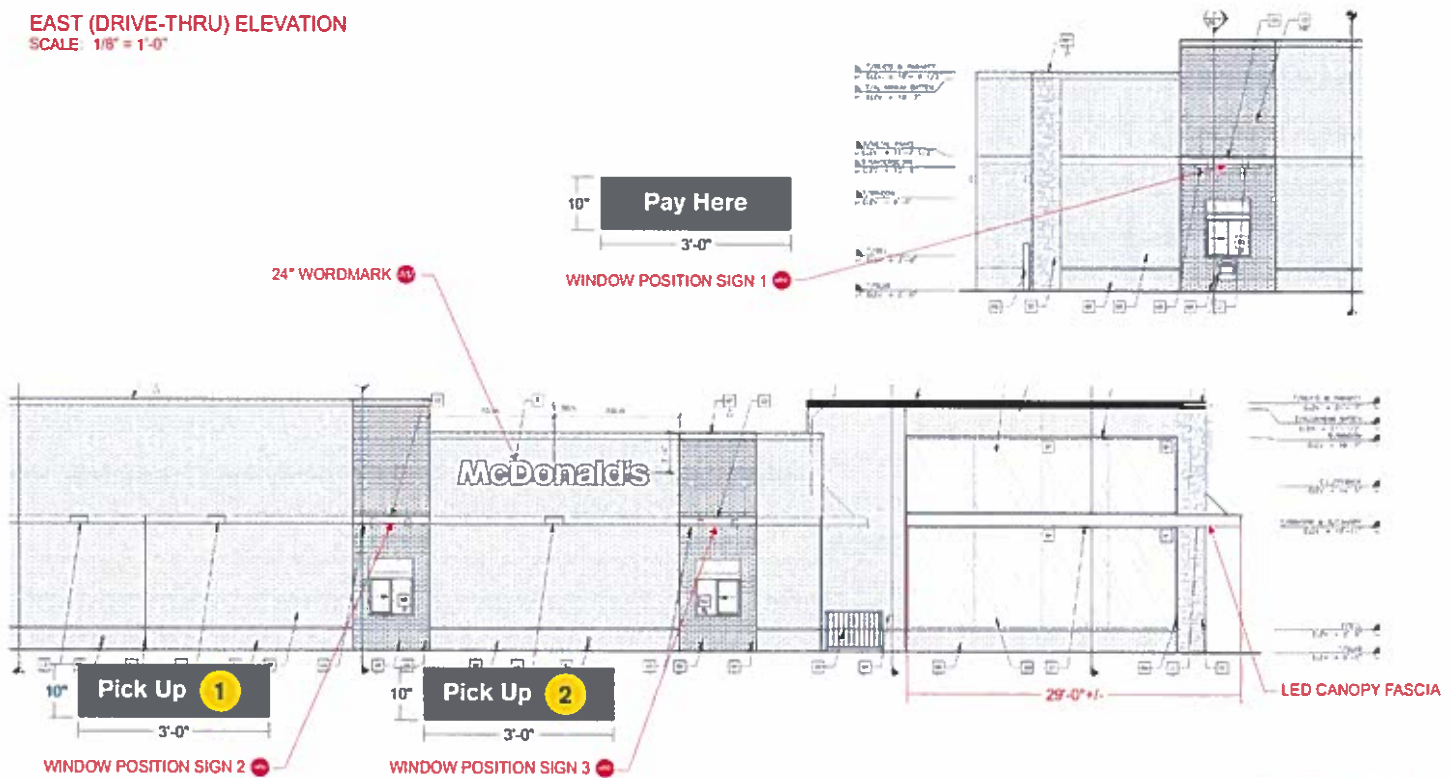
File Name:  
**233826 - R7 - F.M. HWY 66 & 35 E - WAXAHACHIE, TX**

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**EAST (DRIVE-THRU) ELEVATION**  
SCALE: 1/8" = 1'-0"



APPROVAL BOX - PLEASE INITIAL  
CUSTOMER APPROVAL | DATE

**NOTE:** Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: <b>MCDONALD'S</b>	Date: <b>12/11/19</b>	Prepared By: <b>KH</b>	Eng: <b>-</b>	<small>NOTE: Call upon request for more details on pricing for lighting. All dimensions are in the clear DRY climate. Please do not contact personaelectrical.com with any questions or concerns.</small>
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>			

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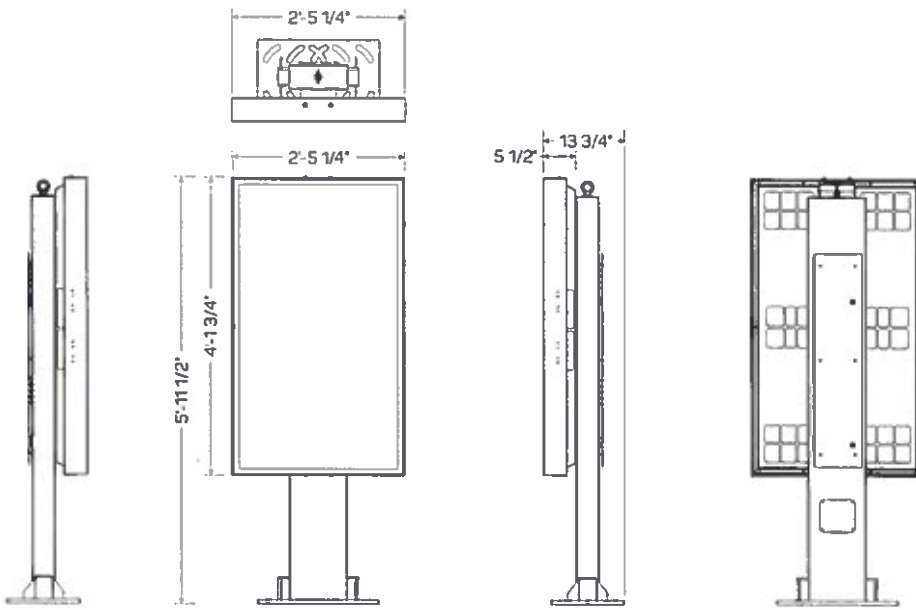
(17)

PSB

Frame	Hot dip galvanized + anti-graffiti powder coated steel
Brackets	Hot dip galvanized
Panels	Aluminium + anti-graffiti powdercoat
Access fasteners	Security Torx
Media player access	Dual camlock
Eyebolt	Stainless crane on
Baseplate	McDonalds spec triple mounting pattern option

### ODMB 02 SINGLE

Displays	Samsung OH55F
Hardware	Stratocache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	60W DC Media Player Power Supply
Power Cables	1 x IEC Power Cable
Electrical Components	Isolated Ground 2 x IG Receptacles 20A Circuit Breaker
Communication Cables	2 x HDMI 1 x RS232
Certification	UL Certified



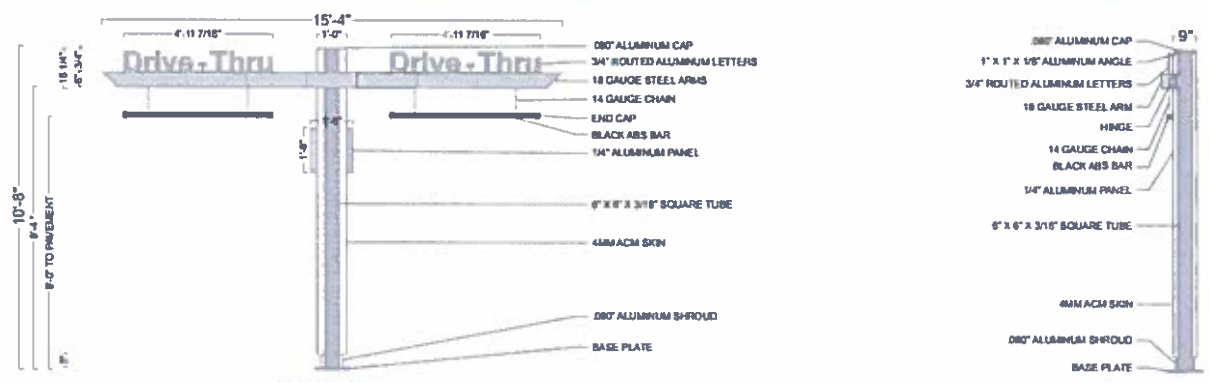
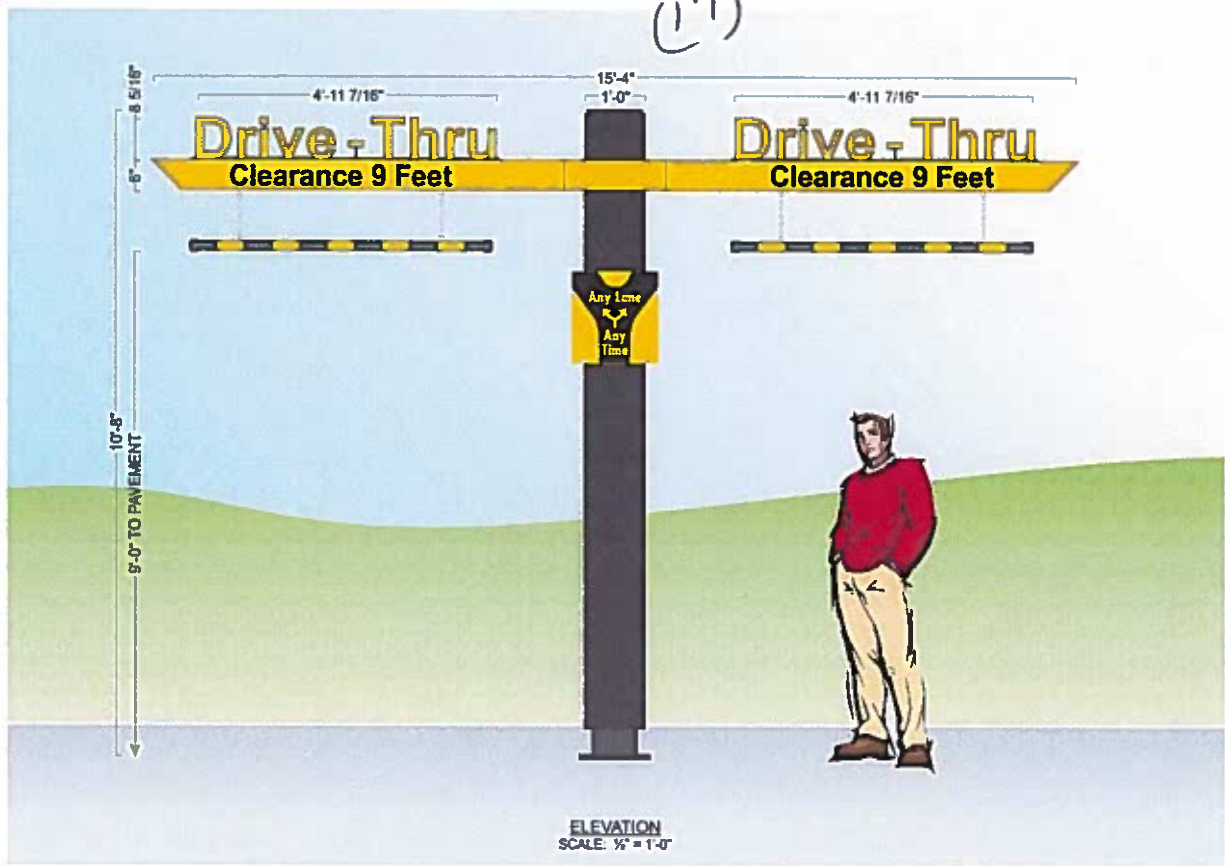
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GRAPHIC DETAIL  
NOT TO SCALE

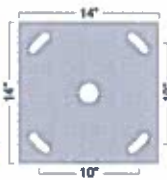
Customer: <b>MCDONALD'S</b>	Date: <b>12/11/19</b>	Prepared By: <b>KH</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a swatch to the drawing and to note.</small>	 SIGNS   LIGHTING   IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personsigns.com
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(17)



**FRONT VIEW**  
SCALE: 1/4" = 1'-0"

**END VIEW**  
SCALE: 1/4" = 1'-0"



1" X 14" X 14" PLATE  
7/8" HOLES  
2" CENTER HOLE  
3/4" ANCHOR BOLTS



**POLE COVER DETAIL**  
DESIGN FACTOR: TBD  
4MM CHARCOAL ACM POLE COVER  
080° ALUMINUM CAP AND SHROUD  
EXTERIOR FINISH:  
POLE COVER - PRE-FINISHED CHARCOAL  
SHROUD AND BASE PLATE - MATCH B.M. 1631 MIDNIGHT OIL

**CLEARANCE BAR DETAIL**  
BLACK ACM PIPE W/ 180-25 GOLD VINYL STRIPES APPLIED 1ST SURFACE  
SQUARE FEET: BOXED = 163.56  
ACTUAL = 20.22

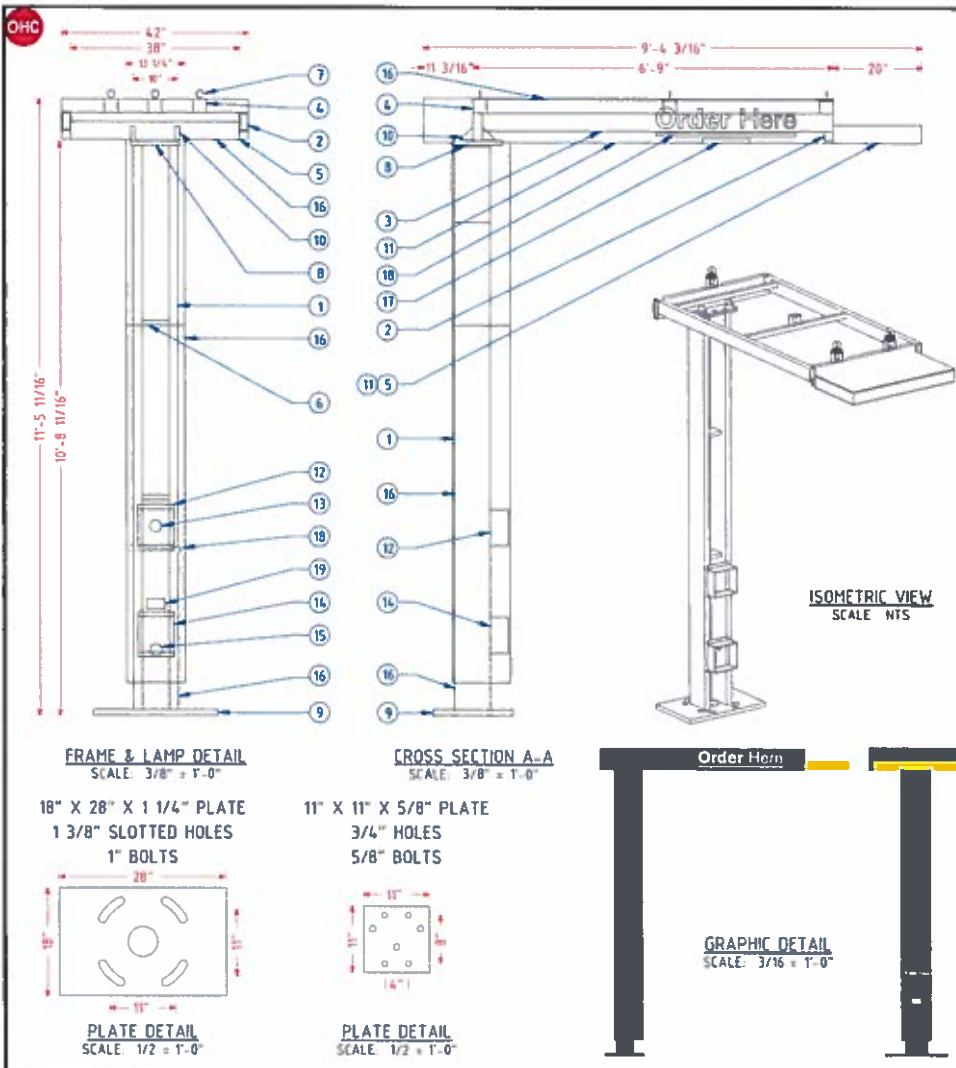
**PANEL DETAIL**  
1/4" ALUMINUM PANEL W/ 1ST SURFACE PAINT & VINYL DECO:  
■ MATCH PMS 123 C GOLD - BACK-GROUND, COPY & ARROW  
■ 3630-22 BLACK - LANES

**SWING ARM DETAIL**  
DESIGN FACTOR: TBD  
18 GAUGE STEEL ARM WITH HINGE W/ 1ST SURFACE PAINT AND VINYL DECORATION:  
■ MATCH PMS 123 C GOLD - SWING ARM  
■ 7725-12 BLACK - "CLEARANCE 9 FEET" COPY

**"DRIVE-THRU" LETTER DETAIL**  
3/4" ROUTED ALUMINUM LETTERS W/ 1ST SURFACE VINYL DECORATION:  
■ 180-25 GOLD - "DRIVE-THRU" COPY  
■ BLACK - COPY OUTLINE

Customer: <b>MCDONALD'S</b>	Date: <b>12/11/19</b>	Prepared By: <b>KH</b>	Notes: Enter notes herein to describe any change in pricing/dimensioning. All colors used are PMS or the closest CMYK equivalent. If reproduction is required, please provide the correct PMS match and a swatch to the drawing if it exists.	<p>DISTRIBUTED BY SIGN UP COMPANY 700 2nd Street Southwest PO Box 210 Wauwatosa, WI 53221-0210 1.800.943.9858 www.signupcompany.com</p>
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>	Eng: <b>-</b>		

(17)



MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	063" ALUMINUM SKIN
12	063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

- NOTES
- DESIGN FACTOR: TO BE DETERMINED
  - 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
  - ACM AND 063" ALUMINUM SKIN
  - EXTERIOR FINISH:
    - BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
    - TUBE AND TOP ACM - PAINT CHARCOAL
    - SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
  - ACM/SKIN REMOVABLE FOR SERVICE
  - UL LISTED
  - ELECTRICAL: 0 64 AMPS/120 VOLTS

Customer <b>MCDONALD'S</b>	Date <b>12/11/19</b>	Prepared By <b>KH</b>	<small>NOTE: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to the drawing will be made.</small>
Location <b>WAXAHACHIE, TX</b>	File Name <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>	Eng -	

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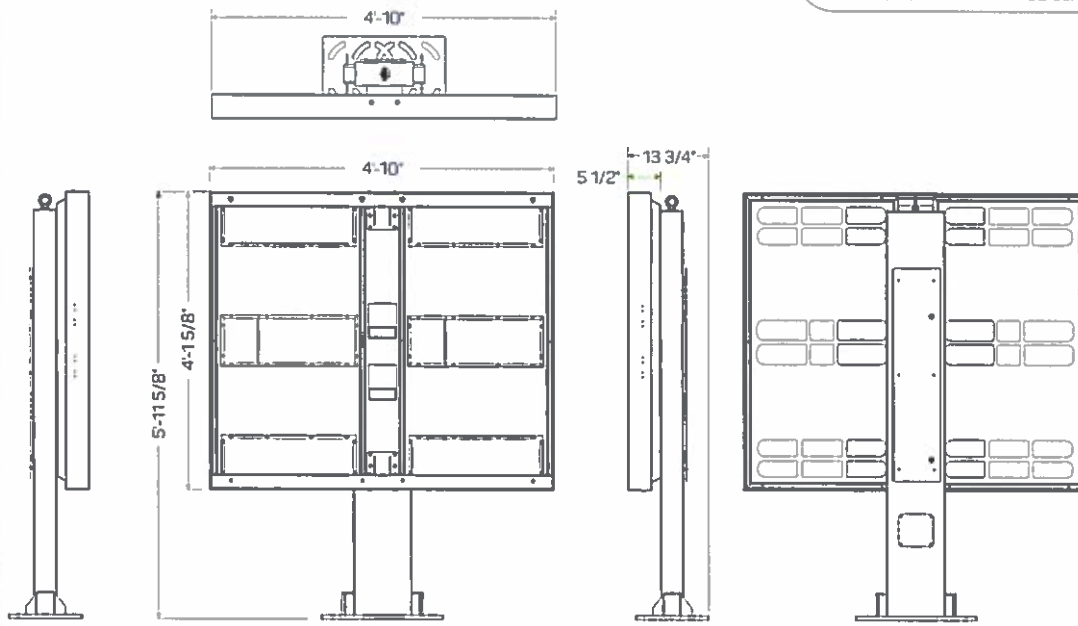
(17)

MB

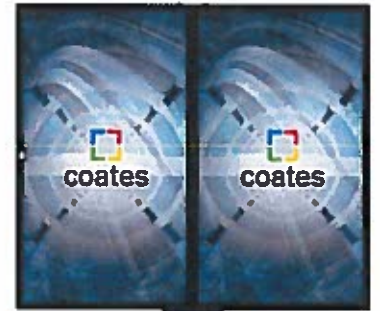
Frame	Hot dip galvanized + anti-graffiti powder coated steel
Brackets	Hot dip galvanized
Panels	Aluminum + anti-graffiti powdercoat
Access fasteners	Security Torx
Media player access	Dual camlock
Eyebolt	Stainless crane on
Baseplate	McDonalds spec triple mounting pattern option

### ODMB 02 DOUBLE

Displays	2 x Samsung OH55F
Hardware	2 x Stratacache Spectra NG
Heating/Cooling	Watlow 100W Heater Sunon 120mm AC Fan
Power Supply Units	2 x 60W DC Media Player Power Supply
Power Cables	2 x IEC Power Cables
Electrical Components	Isolated Ground 2 x IG Receptacles 20A Circuit Breaker
Communication Cables	4 x HDMI 2 x RS232
Certification	UL Certified



SCALE: 1/2" = 1'-0"

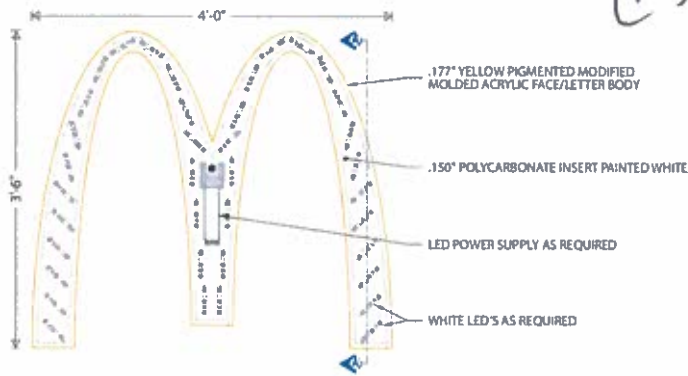


GRAPHIC DETAIL  
NOT TO SCALE

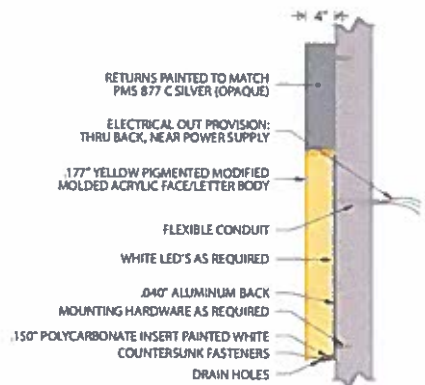
Customer <b>MCDONALD'S</b>	Date: <b>12/11/19</b>	Prepared By <b>KH</b>	<small>Note: Color subject may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a swatch to this drawing will be made.</small>	 <b>personna</b> SIGNS   LIGHTING   IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personnainsigns.com
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>	Eng -			

WA

(11)



**FRAME & LAMP DETAIL**  
SCALE: 3/4" = 1'-0"



**CROSS SECTION A-A**  
SCALE: 3/4" = 1'-0"



**GRAPHIC DETAIL**  
SCALE: 3/4" = 1'-0"

**FRAME DETAIL:**  
DESIGN FACTOR: TBD  
.177" FORMED YELLOW PIGMENTED (PMS 123 C) MODIFIED ACRYLIC FACE/LETTER BODY  
EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)  
INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)  
.150" POLYCARBONATE INSERT PAINTED STAR-BRIGHTWHITE  
.040" ALUMINUM BACK  
LETTER BODY REMOVABLE FOR SERVICE ACCESS  
U.L. APPROVED  
ELECTRICAL: 0.85 AMPS, 120 VOLTS  
SQUARE FOOTAGE:  
BOXED = 14.00  
ACTUAL = 4.90

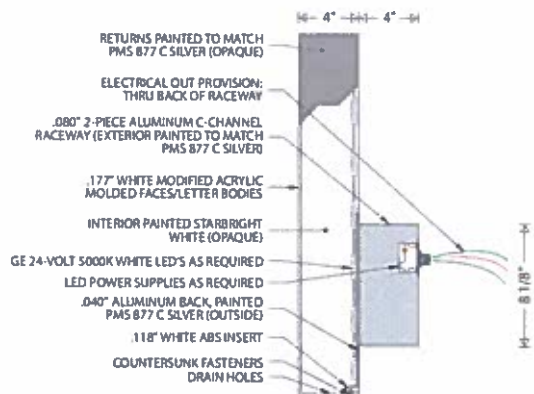
WM



**GRAPHIC DETAIL**  
SCALE: 1/2" = 1'-0"

RACEWAYS AND CONNECTOR TUNNEL TO BE PAINTED TO MATCH PMS 877 C SILVER

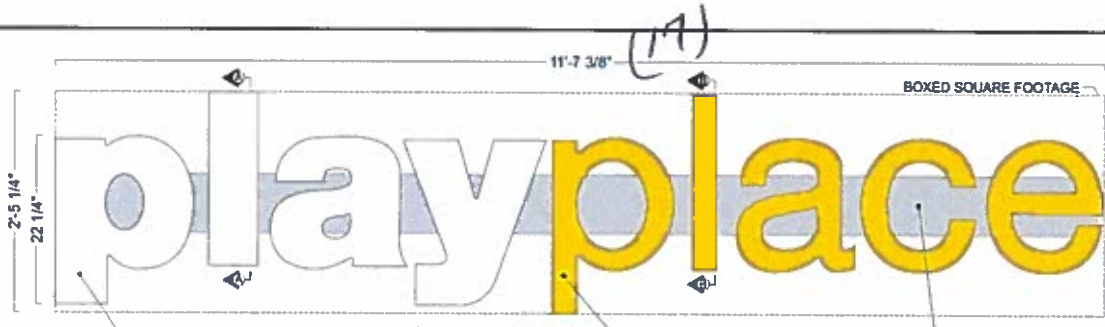
**NOTES:**  
.177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES  
INSTALLED ON ALUMINUM BACKS  
.118" WHITE ABS INSERTS  
EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE);  
BACKS PAINTED PMS 877 C SILVER  
INTERIOR FINISH: STAR-BRIGHT WHITE (OPAQUE)  
LETTER BODIES REMOVABLE FOR SERVICE ACCESS  
ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS  
U.L. APPROVED  
ELECTRICAL: 1.10 AMPS, 120 VOLTS  
SQUARE FOOTAGE:  
BOXED = 33.38  
ACTUAL = 19.53



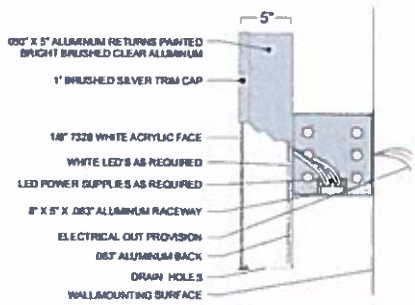
**LETTER PROFILE**  
SCALE: 1 1/2" = 1'-0"



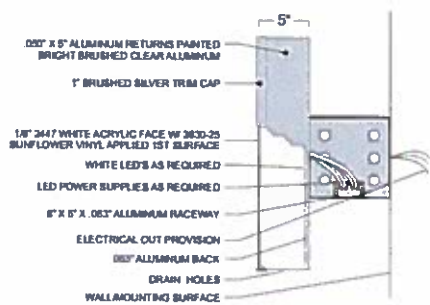
PLP



1/8" 7328 WHITE ACRYLIC  
 GRAPHIC DETAIL SCALE: 3/4" = 1'-0"  
 1/8" 2447 WHITE ACRYLIC W/ 3630-25 SUNFLOWER VINYL APPLIED 1ST SURFACE  
 ALUMINUM RACEWAYS PAINTED McDONALD'S SILVER



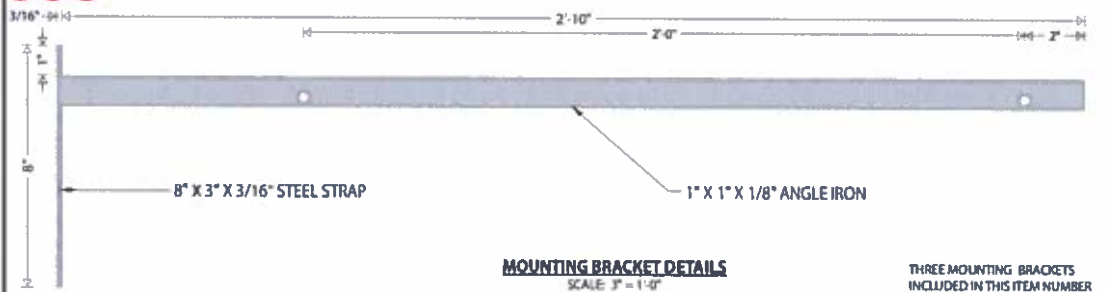
CROSS SECTION A-A  
 SCALE: 1" = 1'-0"



CROSS SECTION B-B  
 SCALE: 1" = 1'-0"

**NOTES:**  
 U.L. LISTED  
 ELECTRICAL: (1) 20A/120V CIRCUIT  
 INTERIOR FINISHED REFLECTIVE WHITE  
 DISCONNECT SWITCH ON RIGHT HAND END OF RACEWAY  
 SQUARE FOOTAGE: BOXED = 28.31  
 ACTUAL = 11.31

WPS1 WPS2 WPS3



MOUNTING BRACKET DETAILS  
 SCALE: 3" = 1'-0"

THREE MOUNTING BRACKETS INCLUDED IN THIS ITEM NUMBER

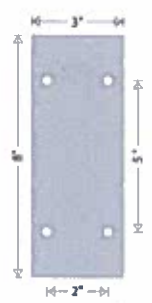


PLATE DETAILS  
 SCALE: 3" = 1'-0"



WINDOW POSITION SIGN DETAILS  
 SCALE: 1" = 1'-0"

**BRACKET DETAILS**  
 DESIGN FACTOR: TBD  
 3/16" X 3" STEEL STRAP  
 1" X 1" X 1/8" ANGLE IRON ARM  
 EXTERIOR FINISH: PAINTED PMS 877 C SILVER  
 5/16" HOLES PUNCHED IN ANGLE AND PLATE FOR MOUNTING

**WINDOW POSITION SIGNS DETAIL**  
 DESIGN FACTOR: TBD  
 .150" PIGMENTED PVC BOARD TO MATCH GREY FORD - MED DK PLATINUM  
 WHITE SCREENED COPY 1ST SURFACE  
 PMS 123 C YELLOW - NUMERAL BACKGROUND  
 2.50 SQUARE FEET  
 \* ALL THREE WINDOW POSITION SIGNS ARE INCLUDED IN THIS ITEM.

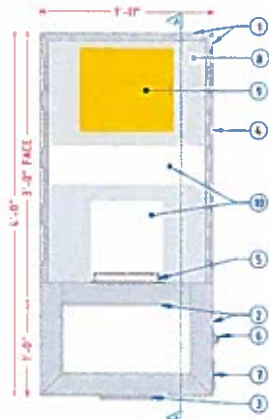


DIR

(17)



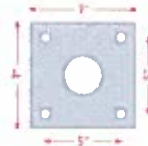
DIRECTIONAL ELEVATION  
SCALE: 1" = 1'-0"



FRONT & LAMP DETAIL  
SCALE: 3/4" = 1'-0"



CROSS SECTION A-A  
SCALE: 3/4" = 1'-0"



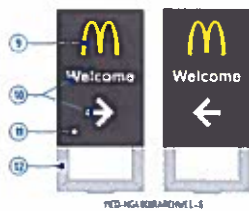
1/2" X 7" X 7" ALUMINUM PLATE  
5/8" BOLT HOLES  
2 1/2" CENTER HOLE

PLATE DETAIL  
SCALE: 1 1/2" = 1'-0"

MCDONALD'S 48" NEXT GEN DIRECTIONAL SPECIFICATIONS	
QTY.	PART/DESCRIPTION
1	3" X 1" X 1/8" ALUMINUM C-CHANNEL
2	3" X 3" X 1/8" ALUMINUM TUBE
3	MOUNTING PLATE (SEE PLATE DETAIL)
4	WHITE LED'S AS REQUIRED
5	LED POWER SUPPLIES AS REQUIRED
6	DISCONNECT SWITCH
7	ELECTRICAL CONNECTION ACCESS THROUGH COVER
8	90° ROUTED ALUMINUM SHOTBOX FACES
9	110 MG YELLOW SOLAR GRADE POLYCARBONATE BACKER PANEL
10	110 MG WHITE SOLAR GRADE POLYCARBONATE BACKER PANEL
11	POWDERCOAT HENTZEN #P9033APE (OR PAINT TO MATCH)
12	PAINT TO MATCH SILVER OR METALLIC GRAY

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 3" X 1/8" ALUMINUM C-CHANNEL FRAME
- ROUTED ALUMINUM SHOTBOX FACES
- EXTERIOR FINISH:  
FACES - POWDERCOAT HENTZEN #P9033APE (OR PAINT TO MATCH)  
TUBES AND PLATE - PAINT SILVER OR METALLIC GRAY
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- FACES REMOVABLE FOR SERVICE ACCESS
- UL LISTED
- ELECTRICAL: 110 AMPS/120 VOLTS
- SQUARE FOOTAGE:  
FACE = 5.75  
DISPLAY = 7.67



PED-HGA-R08RARCH-1L-S



PED-HGA-R08RARCH-1L-S



GRAPHIC DETAIL  
SCALE: 3/8" = 1'-0"



PED-HGA-R08RARCH-1L-S



PED-HGA-R08RARCH-1L-S

Customer:  
**MCDONALD'S**  
Location:  
**WAXAHACHIE, TX**

Date:  
**12/11/19**  
Prepared By:  
**KH**  
File Name:  
**233826 - R7 - F.M. HWY 66 & 35 E - WAXAHACHIE, TX**

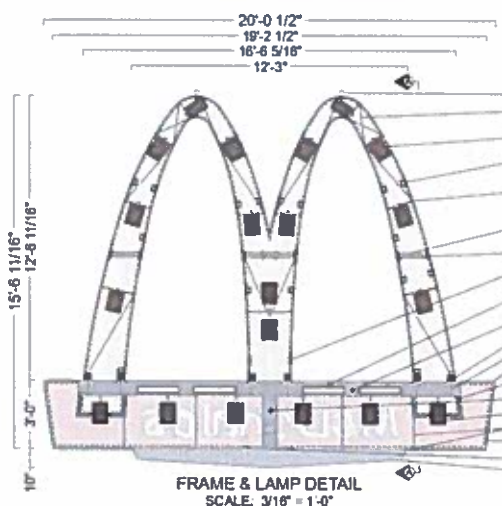
Note: Color subject only for reference when using a computer monitor. All colors used are PMS or the closest CMYK equivalent. If these colors are required, please provide the correct PMS match and a swatch to the drawing of the final product.

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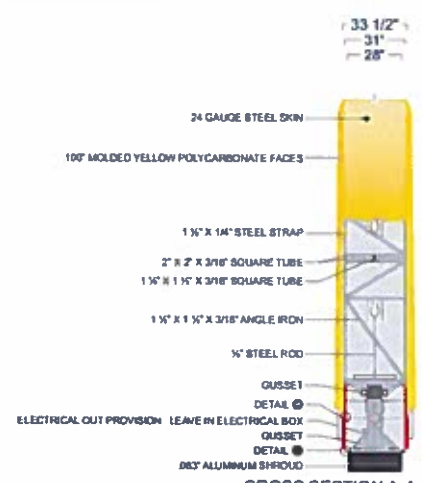


ELEVATION  
SCALE: 1/16" = 1'-0"



FRAME & LAMP DETAIL  
SCALE: 3/16" = 1'-0"

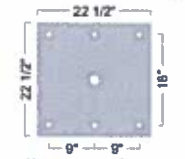
- (7) 3/4" EYEBOLTS
- 1/2" DIAMETER @ STEEL RODS
- (14) 175W MERCURY VAPOR LAMPS (ARCHES ONLY)
- (14) BALLASTS FOR 175W MERCURY VAPOR LAMPS
- 1" X 1" X 1/8" SQUARE TUBE
- 1 1/2" X 1 1/2" X 1/8" SQUARE TUBE
- 2" X 2" X 3/16" SQUARE TUBE
- DISCONNECT SWITCHES
- (8) BALLASTS FOR 400W METAL HALIDE LAMPS
- 8" X 8" X 3/8" SQUARE TUBE
- 4" X 4" X 1/8" SQUARE TUBE
- GUSSET
- 2 1/2" X 3/16" STEEL STRAP
- 1 1/2" X 1 1/2" X 1/8" SQUARE TUBE
- 10" X 10" X 1/2" SQUARE TUBE
- (8) 400W MERCURY VAPOR LAMPS (BOTTOM ONLY)
- 1" X 1" X 1/8" SQUARE TUBE
- DISCONNECT SWITCH
- MOUNTING PLATE
- 803 ALUMINUM SHROUD



CROSS SECTION A-A  
SCALE: 3/16" = 1'-0"



GRAPHIC DETAIL  
SCALE: 1/8" = 1'-0"



1" X 22 1/2" X 22 1/2" PLATES  
1 1/8" HOLES  
1" A325 BOLTS  
PLATE WILL ACCEPT:  
14" PIPE  
14" TUBE  
PLATE DETAILS  
SCALE: 1/2" = 1'-0"

**ARCH FACE DETAILS**  
100' MOLDED YELLOW POLY.  
YELLOW - ARCHES

**BOTTOM FACE DETAILS**  
118" CLEAR PAN-FORMED, EMBOSSED  
POLY. FACE W/ 2ND SURFACE  
SCREENED DECORATION:  
■ PMS 485 C RED - BACKGROUND  
■ BLACK - COPY OUTLINE  
■ WHITE - "MCDONALD'S" COPY

118" CLEAR PAN-FORMED, EMBOSSED POLY.  
FACE W/ 2ND SURFACE SCREENED DECORATION  
2" X 3/16" ANGLE IRON  
1 1/2" FLAT ALUMINUM RETAINER

**FRAME DETAILS**  
DESIGN FACTOR: 100 PSF  
ANGLE IRON FRAME CONSTRUCTION  
1 1/2" AND 1" FLAT ALUMINUM RETAINERS  
EXTERIOR FINISH:  
TOP FRAME = DUPONT CENTARI 5000  
BOTTOM FRAME = DUPONT CENTARI 5000 V3536 BRONZE  
INTERIOR FINISH: PRIMED WHITE  
RETAINERS REMOVABLE FOR SERVICE  
U.L. LISTED  
ELECTRICAL: 49.34 AMPS, 120 VOLTS, 4 SWITCHES  
SQUARE FOOTAGE: BOXED = 311.79  
ACTUAL = 121.75

Customer: <b>MCDONALD'S</b>	Date: <b>05/30/20</b>	Prepared By: <b>CM/KH/JJS</b>	<p><small>Note: Customer may not be exact when using a photograph drawing. All colors used are PMS or closest CMYK equivalent. If there are color differences, please provide color swatches. PMS color and a swatch is the drawing will be used.</small></p>	<p>SIGNS   LIGHTING   IMAGE</p>	<p>DISTRIBUTED BY SIGN UP COMPANY 700 2nd Street, Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9858 - www.personasigns.com</p>
Location: <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>	Eng: <b>-</b>			

(17)

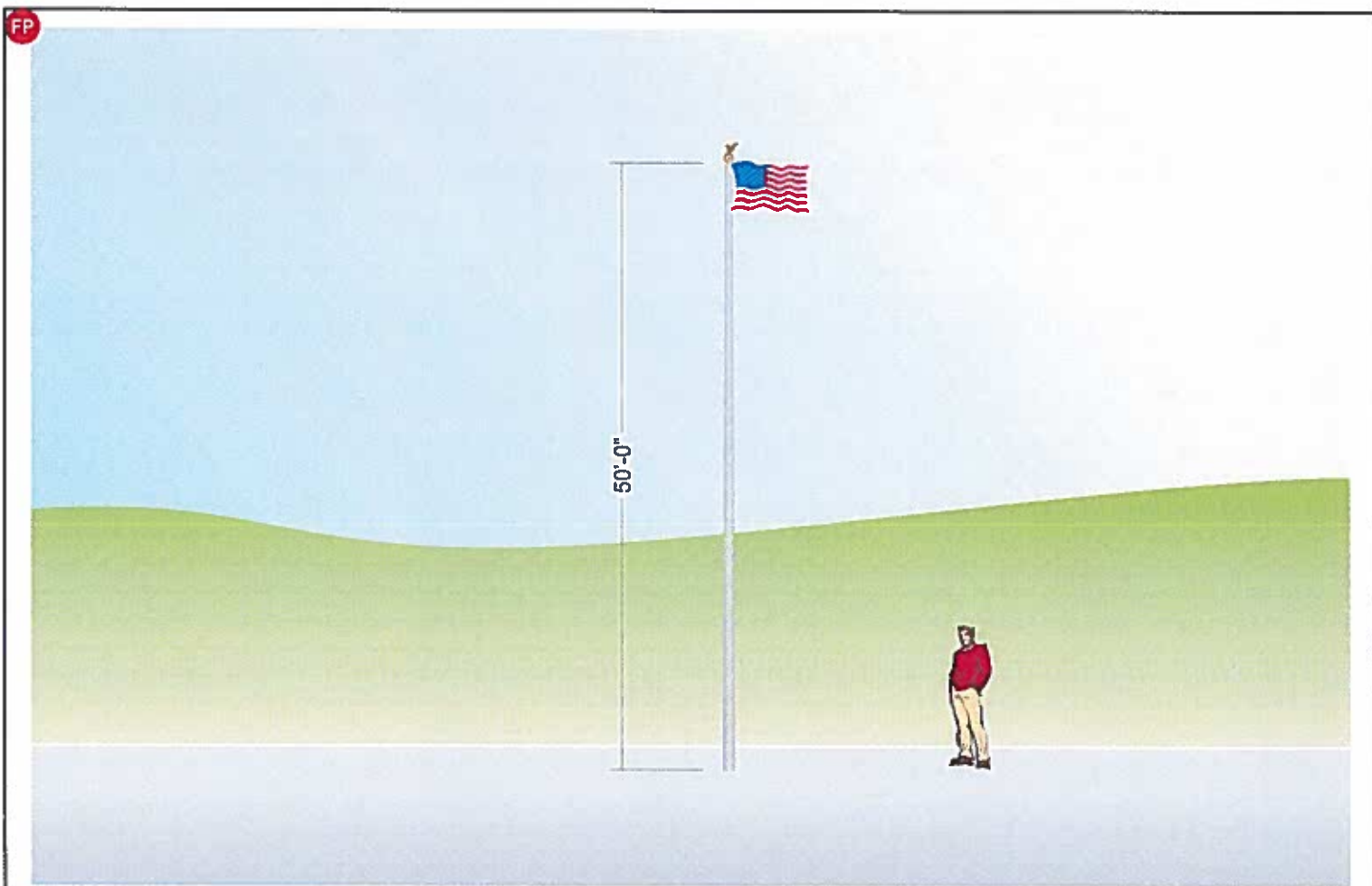


ELEVATION  
SCALE: 1/2" = 1'-0"

Customer <b>MCDONALD'S</b>	Date <b>02/18/20</b>	Prepared By <b>KH</b>	<small>NOTE: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If final colors are required, please provide the correct PMS match and a swatch to this drawing will be made.</small>	Eng. -	<b>persona</b> SIGNS   LIGHTING   IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Location <b>WAXAHACHIE, TX</b>	File Name: <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>					



(17)



ELEVATION  
SCALE: 3/32" = 1'-0"

Customer <b>MCDONALD'S</b>	Date <b>16DEC19</b>	Prepared By <b>SC</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a swatch to this drawing will be made.</small>	<b>persona</b> SIGNS   LIGHTING   IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 - www.personasigns.com
Location <b>WAXAHACHIE, TX</b>	File Name <b>233826 - R7 - F.M. HWY 66 &amp; 35 E - WAXAHACHIE, TX</b>	Eng -			

(17)

Case ZDC-91-2020  
Responses Received Inside Required 200 Notification Area  
Support 1 Oppose 0

Property ID	Owner's Name	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
139445	HIDEAWAY SELF STORAGE INC	2.29	LOT 1 THE HIDEAWAY STORAGE ADDN 2.29 AC	1624 FM 08	WAXAHACHE	TX	75167	1624 FM 08 WAXAHACHE TX 75167
174460	DML LAND LLC	40.049	TR 2N 2 INTERSTATE INDUSTRIAL PARK REV 40.049 ACRES	2200 W HIGHWAY 267 BUSINESS	WAXAHACHE	TX	75167	E FM 08 WAXAHACHE TX 75167
174468	L C G INVESTMENT CO	4.597	TR 1 INTERSTATE INDUSTRIAL PARK 4.597 ACRES	14802 PRESTON RD STE 404.323	DALLAS	TX	75254	1501 FM 08 WAXAHACHE TX 75167
174469	ESTER GARY W	2.411	LOT 1RA BLK 2 INTERSTATE INDUSTRIAL PARK REV 2.411 AC	180 DAM CREEK	WAXAHACHE	TX	75167	1408 W FM 08 WAXAHACHE TX 75167
173352	GRANITE PINE MEADOWS LLC C/O GRANITE HOMES LLC	24.08	PINE MEADOWS MHP 24.08 ACRES	11335 GOLD EXPRESS DR STE 100	GOLD RIVER	CA	95670	3450 S INTERSTATE 35 WAXAHACHE TX 75168
179033	DUGGAN NICKIE	2.04	6 J C ARMSTRONG 2.04 ACRES	1601 FM 08	WAXAHACHE	TX	75167	1651 FM 08 WAXAHACHE TX 75167
179035	H&D REALTY INVESTMENTS LLC	20.278	6 J C ARMSTRONG 20.278 ACRES	520 E NORTHWEST HWY STE 100	GRAPEVINE	TX	76051	08 INTERSTATE 35 WAXAHACHE TX 75165
179100	GAR CAPITAL PROPERTIES LLC	11.93	6 J C ARMSTRONG 11.93 ACRES	807 YELLOWSTONE DR	MANFRIELD	TX	76083	08 INTERSTATE 35 WAXAHACHE TX 75165
179110	ACL RESOURCES INC	2.284	6 J C ARMSTRONG 2.284 ACRES	PO BOX 803194	DALLAS	TX	75380	1650 FM 08 WAXAHACHE TX 75167
179118	DMJ PROPERTIES LTD	0.5	6 J C ARMSTRONG 0.5 ACRES	PO BOX 2569	WAXAHACHE	TX	75168	3300 S INTERSTATE 35 WAXAHACHE TX 75165
179118	CRADDOCK SYLVIA	38.45	6 J C ARMSTRONG 38.45 ACRES	1711 MASTERS DR	DESOTO	TX	75115	FM 078 WAXAHACHE TX 75167
223397	H & D REALTY INVESTMENTS LLC	0.984	6 J C ARMSTRONG 0.984 ACRES	520 E NORTHWEST HIGHWAY STE 100	GRAPEVINE	TX	76051	FM 08 WAXAHACHE TX 75167
225272	H & D REALTY INVESTMENTS LLC	7.77	LOT 1R COLWELL OIL CO ADDN 7.77 AC	520 E NORTHWEST HIGHWAY STE 100	GRAPEVINE	TX	76051	3208 S INTERSTATE 35 WAXAHACHE TX 75165
240457	JUDE MANAGEMENT LLC	3.371	TR 2R 2 INTERSTATE INDUSTRIAL PARK REV 3.371 ACRES	PO BOX 2569	WAXAHACHE	TX	75168	E FM 08 WAXAHACHE TX 75167
243808	ADAY MARVEEHE	28.83	6 J C ARMSTRONG 28.83 ACRES	3625 C R 417A	CLEBURNE	TX	76031	FM 05 WAXAHACHE TX 75167



(17)

City of Waxahachie, Texas  
Notice of Public Hearing  
Case Number: ZDC-91-2020

RECEIVED  
8/11/20

ESTES GARY W  
100 OAK CREEK  
WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, August 11, 2020 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, August 17, 2020 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. Request by Clay Cristy, Claymoore Engineering, for a Specific Use Permit (SUP) for Pole Sign use within a Light Industrial-1 zoning district located at the SW corner of FM 66 and Interstate 35E (Property ID 174460) - Owner: DML LAND LLC (ZDC-91-2020)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) for additional information on this request.

Case Number: ZDC-91-2020

City Reference: 174469

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Wednesday, August 5, 2020* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to [Planning@Waxahachie.com](mailto:Planning@Waxahachie.com) or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT

OPPOSE

Comments:

AS LONG AS Pole Sign is on I.35 Frontage it's OK. All signs on FM66 Frontage should be monument signs.

Gary W Estes  
Signature

8/4/2020  
Date

GARY ESTES OWNER  
Printed Name and Title

1499 FM66 Waxahachie.  
Address

*It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)*

*If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.*