<u>A GENDA</u>

The Waxahachie Planning & Zoning Commission will hold a regular meeting on *Tuesday, April* 13, 2021 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Commission Members:	Rick Keeler, Chairman
	Melissa Ballard, Vice Chairman
	Betty Square Coleman
	Bonney Ramsey
	Jim Phillips
	David Hudgins
	Erik Test

- 1. Call to Order
- 2. Invocation
- 3. *Public Comments*: Persons may address the Planning & Zoning Commission on any issues. This is the appropriate time for citizens to address the Commission on any concern whether on this agenda or not. In accordance with the State of Texas Open Meetings Act, the Commission may not comment or deliberate such statements during this period, except as authorized by Section 551.042, Texas Government Code.

4. Consent Agenda

All matters listed under Item 4, Consent Agenda, are considered routine by the Planning & Zoning Commission and will be enacted by one motion. There will not be separate discussion of these items. Approval of the Consent Agenda authorizes the Chairman to execute all matters necessary to implement each item. Any item may be removed from the Consent Agenda for separate discussion and consideration by any member of the Planning & Zoning Commission.

- a. Minutes of the regular Planning & Zoning Commission meeting of March 23, 2021
- b. Minutes of the Planning and Zoning Commission briefing of March 23, 2021
- 5. *Public Hearing* on a request by Dalton Bradbury, Acker Construction, for a **Zoning Change** from a Commercial zoning district to Planned Development-Commercial, located at 1605 E Main (being Property ID 220820) Owner: CULEGO INC (ZDC-41-2021)
- 6. *Consider* recommendation of Zoning Change No. ZDC-41-2021
- Public Hearing on a request by Mathew Williamson, MBW Engineering, for a Zoning Change from a Multiple Family-1 zoning district to Planned Development-Multiple Family-2, located just South of 865 Cantrell Street (being Property ID 142414) - Owner: WM C BUSTER LAND DEVELOPMENT LLC (ZDC-42-2021)
- 8. *Consider* recommendation of Zoning Change No. ZDC-42-2021

- 9. *Consider* request by Tim Jackson, Texas Reality Capture & Surveying, LLC for a **Plat** of Langston Hill Estates for one (4) lots being 7.348 acres situated in the J. Barker Survey, Abstract 40 (Property ID 256323 and 252890) in the Extra Territorial Jurisdiction Owner: PETER & ELIANA JAMES AND DAVID & JENNIFER JAMES (SUB-17-2021)
- 10. *Consider* request by Hal Barrix, Sumeer Homes, for a **Plat** of Oxford Ranch Two, Phase 3, for eight (8) lots being 17.68 acres situated in the T. Cassidy Survey, Abstract 225 (Property ID 181695) in the Extra Territorial Jurisdiction Owner: HARLAN PROPERTIES, INC. (SUB-24-2021)
- 11. *Consider* request by Alan Lauhoff, Atlas Associates, Inc., for a **Plat** of Silverthorne Addition for 77 lots, being 32.564 acres situated in the B.B. Davis Survey, Abstract 290 and the W.C. Calder Survey, Abstract 235 (Property ID 182275) Owner: BLUE BONNET TRAILS, LLC (SUB-15-2021)
- 12. *Public Hearing* on a request by Ron Barson, Ledbetter Real Estate LTD, for a **Zoning Change** from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)
- 13. *Consider* recommendation of Zoning Change No. ZDC-43-2021
- 14. *Public Hearing* on a request by Bryan Hull, Real Estate Buy Design, for a **Zoning Change** from a Light Industrial-1 and Future Development zoning district to Planned Development-Light Industrial-1, located at 4743 N Interstate 35 (being Property ID 188458) Owner: CARLINGFORD PROPERTIES LLC (ZDC-25-2021)
- 15. *Consider* recommendation of Zoning Change No. ZDC-25-2021
- 16. Continue Public Hearing on a request by Ed Fleming, Walton Global Holdings, LTD, for a Zoning Change from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) Owner: WALTON TEXAS LP (ZDC-7-2021)
- 17. *Consider* recommendation of Zoning Change No. ZDC-7-2021
- 18. Adjourn

The P&Z reserves the right to go into Executive Session on any posted item.

This meeting location is wheelchair-accessible. Parking for mobility-impaired persons is available. Any request for sign interpretive services must be made forty-eight hours ahead of the meeting. To make arrangements, call the City Secretary at (469) 309-4005 or (TDD) 1-800-RELAY TX.

Notice of Potential Quorum One or more members of the Waxahachie City Council may be present at this meeting. No action will be taken by the City Council at this meeting.

(4a)

Planning and Zoning Commission March 23, 2021

The Waxahachie Planning & Zoning Commission held a regular meeting on Tuesday, March 23, 2021 at 7:00 p.m. in the Council Chamber at 401 S. Rogers St., Waxahachie, TX.

Members Present:	Rick Keeler, Chairman Melissa Ballard, Vice Chairman Betty Square Coleman Bonney Ramsey Jim Phillips David Hudgins
Member Absent:	Erik Test
Others Present:	Shon Brooks, Director of Planning Colby Collins, Senior Planner Chris Webb, Planner Macey Martinez, Graduate Engineer Amber Villarreal, Assistant City Secretary Mary Lou Shipley, Council Representative

1. Call to Order

2. Invocation

Chairman Rick Keeler called the meeting to order and gave the invocation.

3. Public Comments

None

4. Consent Agenda

- a. Minutes of the regular Planning & Zoning Commission meeting of March 9, 2021
- b. Minutes of the Planning and Zoning Commission briefing of March 9, 2021

Action:

Ms. Bonney Ramsey moved to approve items a. and b. on the Consent Agenda. Vice Chairman Melissa Ballard seconded, All Ayes.

5. Continue Public Hearing on a request by Ed Fleming, Walton Global Holdings, LTD, for a Zoning Change from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) - Owner: WALTON TEXAS LP (ZDC-7-2021)

Chairman Keeler continued the Public Hearing and announced the applicant requested to continue ZDC-7-2021 to the April 13, 2021 Planning and Zoning Commission meeting.

6. Consider recommendation of Zoning Change No. ZDC-7-2021

Action:

Vice Chairman Melissa Ballard moved to continue the Public Hearing on a request by Ed Fleming, Walton Global Holdings, LTD, for a Zoning Change from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) - Owner: WALTON TEXAS LP (ZDC-7-2021) to the April 13, 2021 Planning and Zoning Commission meeting. Mr. David Hudgins seconded, All Ayes.

7. Consider request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Plat of Osuba Addition for 3 lots, being 7.961 acres situated in the A. Brown Survey, Abstract 102 (Property ID 283986) – Owner: Shan Yun Lin (SUB-10-2021)

Planner Chris Webb reviewed the case noting the applicant is requesting to plat the subject property into three (3) lots and staff recommended approval as presented.

Action:

Mr. David Hudgins moved to approve a request by Tim Jackson, Texas Reality Capture & Surveying, LLC, for a Plat of Osuba Addition for 3 lots, being 7.961 acres situated in the A. Brown Survey, Abstract 102 (Property ID 283986) – Owner: Shan Yun Lin (SUB-10-2021). Ms. Bonney Ramsey seconded, All Ayes.

8. Consider request by Michael Alturk, ADTM Engineering and Construction, for a Plat of KSAM Highway 287 for three (3) lots, being 19.580 acres situated in the W. Calder Survey, Abstract 235 and B. Davis Survey, Abstract 290 (Property ID 181802) – Owner: KSAM, LLC (SUB-187-2021)

Mr. Webb presented the case noting the applicant is requesting to plat the subject property into three (3) lots in accordance with the Planned Development site plan that was approved at the March 15, 2021 City Council meeting and staff recommended approval as presented.

Action:

Mr. Jim Phillips moved to approve a request by Michael Alturk, ADTM Engineering and Construction, for a Plat of KSAM Highway 287 for three (3) lots, being 19.580 acres situated in the W. Calder Survey, Abstract 235 and B. Davis Survey, Abstract 290 (Property ID 181802) – Owner: KSAM, LLC (SUB-187-2021). Mr. David Hudgins seconded, All Ayes.

9. Consider request by Blain Vinson, Aspen Community Development, for a Plat of the Cottages on Cantrell for 81 lots, being 17.348 acres situated in the J. Armstrong Survey, Abstract 6 (Property ID 244651) – Owner: Scott Pendery, SAP Properties, LLC (SUB-13-2021)

Mr. Webb presented the case noting the applicant is requesting to plat the subject property into 81 lots for residential use. The applicant is also requesting a petition of relief waiver to allow for 10' utility easements as opposed to 15' utility easements as required by Section 3.3 of the Subdivision Ordinance. Staff recommended approval as presented and approval of petition of relief waiver request.

Mr. Jim Phillips asked if the plat is in compliance with the previously approved Planned Development and Mr. Webb noted it is.

Action:

Ms. Bonney Ramsey moved to approve a request by Blain Vinson, Aspen Community Development, for a Plat of the Cottages on Cantrell for 81 lots, being 17.348 acres situated in the J. Armstrong Survey, Abstract 6 (Property ID 244651) – Owner: Scott Pendery, SAP Properties, LLC (SUB-13-2021) and petition of relief waiver request. Mr. David Hudgins seconded, All Ayes.

10. Public Hearing on a request by Brian Dodds for a Specific Use Permit (SUP) for Accessory Building (Residential), Greater than or Equal to 700 SF, use within a Planned Development-23-Single-Family Residential-1 zoning district located at 156 Homestead Lane (Property ID 269672) - Owner: ERICA L & BRIAN D DODDS (ZDC-12-2021)

Chairman Rick Keeler opened the Public Hearing.

Senior Planner Colby Collins presented the case noting the applicant is requesting to construct a 2,400 sq. ft. accessory structure in the rear of a single-family property. Staff recommended approval per the following staff comments:

- 1. The applicant will need to obtain a building permit from the City of Waxahachie Building Inspections department prior to construction of the proposed structure.
- 2. A concrete drive that leads from the home to the accessory structure shall be provided by the applicant.

11. Consider recommendation of Zoning Change No. ZDC-12-2021

Action:

Vice Chairman Melissa Ballard moved to approve a request by Brian Dodds for a Specific Use Permit (SUP) for Accessory Building (Residential), Greater than or Equal to 700 SF, use within a Planned Development-23-Single-Family Residential-1 zoning district located at 156 Homestead Lane (Property ID 269672) - Owner: ERICA L & BRIAN D DODDS (ZDC-12-2021) as presented. Mr. Bonney Ramsey seconded, All Ayes.

12. Public Hearing on a request by David Harrison for a Specific Use Permit (SUP) for Accessory Building (Residential), Greater than or Equal to 700 SF, use within a Planned Development-23-Single-Family Residential-1 zoning district located at 200 Lake Shore Dr (Property ID 182138) - Owner: DAVID HARRISON (ZDC-16-2021)

Chairman Keeler opened the Public Hearing.

Mr. Collins presented the case noting the applicant is requesting to construct a 1,200 sq. ft. accessory structure in the rear of a single-family property. Staff recommended approval per the following staff comments:



- 1. The applicant will need to obtain a building permit from the City of Waxahachie Building Inspections department prior to construction of the proposed structure.
- 2. A concrete drive that leads from the home to the accessory structure shall be provided by the applicant.

Mr. David Harrison, 200 Lake Shore Drive, Waxahachie, Texas, requested to build a gravel drive leading to the accessory structure to match the existing gravel driveway at his home.

There being no others to speak for or against ZDC-16-2021, Chairman Keeler closed the Public Hearing.

13. Consider recommendation of Zoning Change No. ZDC-16-2021

Action:

Mr. David Hudgins moved to approve a request by David Harrison for a Specific Use Permit (SUP) for Accessory Building (Residential), Greater than or Equal to 700 SF, use within a Planned Development-23-Single-Family Residential-1 zoning district located at 200 Lake Shore Dr (Property ID 182138) - Owner: DAVID HARRISON (ZDC-16-2021) subject to Staff Comments. Vice Chairman Melissa Ballard seconded, the vote was as follows: Ayes: Rick Keeler, Melissa Ballard, Bonney Ramsey, and Jim Phillips. Noes: Betty Square Coleman.

Motion carried.

14. Public Hearing on a request by Claudio Segovia, J Volk Consulting, Inc, for an Amendment to Ordinance No. 2733 for North Grove Planned Development to allow for a mixed use residential development located at the NW corner of Washington Ave at North Grove Blvd (Property ID 283993) - Owner: NORTH GROVE 12.5 LLC SERIES 1 (ZDC-14-2021)

Chairman Keeler opened the Public Hearing.

Mr. Collins presented the case noting the applicant intends to amend an existing Ordinance (No. 2733) to create a Planned Development to allow for retail, commercial, office, multi-family apartments and townhome uses on 12.4 acres. He explained the North Grove Planned Development District was approved by City Council on March 3, 2014 and due to the request for townhomes not being allowed within the existing Ordinance, an amendment is required. Mr. Collins explained the applicant is proposing a mixed-use development (The Place at North Grove) which will consist of seven 4-story buildings with retail and/or office use on the ground floor, and nine townhome lots. The development will also include a sit-down restaurant on the corner of North Grove Boulevard and Washington Avenue., as well as local specialty cafes and shops in the ground floor retail/office areas of the four-story buildings. The mixed use buildings 4 and 5 constructed in three phases: Buildings 1, 6, and 7 constructed in Phase 1; Buildings 4 and 5 constructed in Phase 2; Buildings 2 and 3 in Phase 3. The nine proposed townhome lots will be platted at a future date. Mr. Collins expressed staff's concerns with the elevation/façade aesthetics with the townhome structures. Staff recommended approval per the following staff comments:

1. A mutually agreed upon Development Agreement will be required for the development.

2. Staff suggest that the applicant revise the existing townhome elevation/façade plan(s) to be more conducive to the surrounding area.

(40)

Mr. Phillips confirmed that the zoning for multi-family for this site was already allocated with the approved Master Plan for North Grove and the applicant has the right to build multi-family development. Mr. Collins agreed. Mr. Phillips also confirmed the city is under the 15% multi-family threshold outlined in the Comprehensive Plan and Mr. Collins noted after build-out of approved multi-family zoning, the city will be at just under 11% multi-family density.

Mr. David Hudgins addressed traffic concerns and noted Brown Street is a state road and the city is working with TxDOT for future widening but no timeline is established.

Chairman Keeler confirmed there is other mixed-use zoning currently in the North Grove Master Plan approved in 2014.

Mr. Terry Weaver, 815 W. Main Street, Midlothian, Texas, explained he was involved in the compilation of the North Grove Master Plan prior to the 2014 approval. He noted the proposed development is in line with the approved master plan and the intent at this time is to establish zoning for the townhomes. He noted the applicant is willing to work with staff on elevations/façade concerns.

The Commission discussed parking and Mr. Weaver noted the developer will construct the whole parking lot. Chairman Keeler expressed his request for the retail development to have 2 front door entrances to the building and Mr. Weaver agreed.

Mr. Tom Malone, 814 Pennsylvania Avenue, Fort Worth, Texas, explained the buildings will be all stone and brick and no stucco will be used and the townhomes are proposed to be brick and hardy board.

Those who spoke in opposition:

Dwight Dequire, 600 Washington Avenue, Waxahachie, Texas Patty Bailey, 544 Washington Avenue, Waxahachie, Texas TC Hampton, 624 Washington Avenue, Waxahachie, Texas Jeff Rudd, 604 Washington Avenue, Waxahachie, Texas Encinia Hampton, 624 Washington Avenue, Waxahachie, Texas Omar Chance, 620 Washington Avenue, Waxahachie, Texas Jamie Coleman, 1575 Oasis, Waxahachie, Texas Ann Dussing, 548 Washington Avenue, Waxahachie, Texas Tatayanda Younger, 552 Washington Avenue, Waxahachie, Texas Paul Bailey, 544 Washington Avenue, Waxahachie, Texas Martha Rudd, 604 Washington Avenue, Waxahachie, Texas Kristopher Crigler, 532 Grant Court, Waxahachie, Texas Lydia Schiebel, 612 Washington Avenue, Waxahachie, Texas

There being no others to speak for or against ZDC-14-2021, Chairman Keeler closed the Public Hearing.

Chairman Keeler expressed the Commission's sympathy towards the homeowners who were not aware the property at Washington and North Grove was zoned multi-family in 2014.

Mr. Phillips noted the Commission tries to get the best development and noted it is unfortunate that the homeowners were lied to by the builders.

Ms. Bonney Ramsey expressed her concern with what the homeowners are dealing with and noted for future reference the Planning Department is the most factual way to get information on surrounding zoning.

Ms. Betty Square Coleman encouraged the citizens to make their voices heard at City Council.

15. Consider recommendation of Zoning Change No. ZDC-14-2021

Action:

Mr. Jim Phillips moved to approve a request by Claudio Segovia, J Volk Consulting, Inc, for an Amendment to Ordinance No. 2733 for North Grove Planned Development to allow for a mixed use residential development located at the NW corner of Washington Ave at North Grove Blvd (Property ID 283993) - Owner: NORTH GROVE 12.5 LLC SERIES 1 (ZDC-14-2021) subject to staff comments and further review of townhome aesthetics. Mr. David Hudgins seconded, the vote was as follows: Ayes: Rick Keeler, Melissa Ballard, Bonney Ramsey, and Jim Phillips. Noes: Betty Square Coleman.

Motion carried.

16. Adjourn

There being no further business, the meeting adjourned at 8:22 p.m.

Respectfully submitted,

Amber Villarreal Assistant City Secretary



Planning and Zoning Commission March 23, 2021

The Waxahachie Planning & Zoning Commission held a briefing session on Tuesday, March 23, 2021 at 6:15 p.m. in the City Council Conference Room at 401 S. Rogers St., Waxahachie, TX.

Members Present:	Rick Keeler, Chairman Melissa Ballard, Vice Chairman Betty Square Coleman Bonney Ramsey Jim Phillips David Hudgins
Member Absent:	Erik Test
Others Present:	Shon Brooks, Director of Planning Colby Collins, Senior Planner Chris Webb, Planner Macey Martinez, Graduate Engineer Amber Villarreal, Assistant City Secretary Mary Lou Shipley, Council Representative

1. Call to Order

Chairman Rick Keeler called the meeting to order.

2. Conduct a briefing to discuss items for the 7:00 p.m. regular meeting

Planner Chris Webb reviewed the following cases:

- SUB-10-2021, staff recommended approval of plat as presented.
- SUB-187-2021, staff recommended approval of plat as presented.
- SUB-13-2021, staff recommended approval of plat as presented and approval of petition of waiver as presented.

Senior Planner Colby Collins reviewed the following cases:

ZDC-7-2021, applicant requested to continue the case to the April 13, 2021 Planning & Zoning Commission meeting.

ZDC-12-2021, staff recommended approval per staff comments.

ZDC-16-2021, staff recommended approval of the Specific Use Permit per staff comments requiring a concrete drive.

ZDC-14-2021, staff recommended approval per staff comments.

The Commission discussed traffic concerns on Brown Street and Graduate Engineer Macey Martinez noted TxDOT has plans to expand Brown Street; however, no timetable is set. Staff confirmed the zoning use for multi-family at the location for ZDC-14-2021 was established in 2014 in the Master Planned Development for North Grove.

3. Adjourn

(46)

Planning and Zoning Commission March 23, 2021 Page 2

There being no further business, the meeting adjourned at 7:00 p.m.

Respectfully submitted,

Amber Villarreal Assistant City Secretary

(5+6)



Memorandum

To: Honorable Mayor and City Council
From: Shon Brooks, Director of Planning
Thru: Tommy Ludwig, Assistant City Manager Jong Jung
Date: April 8, 2021
Re: ZDC-41-2021 - 1605 E. Main St. (Dance Studio)

On April 8, 2021, the applicant requested to withdraw case number ZDC-41-2021 from the April 13, 2021 Planning and Zoning meeting agenda and the April 19, 2021 City Council meeting agenda.

(7 + 8)



Memorandum

To: Honorable Mayor and City Council

From: Shon Brooks, Director of Planning

Thru: Tommy Ludwig, Assistant City Manager 🚤

Date: April 8, 2021

Jon Jung

Re: ZDC-42-2021 – The Bungalows at Cantrell

On April 8, 2021, the applicant requested to continue case number ZDC-42-2021 from the April 13, 2021 Planning and Zoning Commission meeting agenda and the April 19, 2021 City Council meeting agenda to the April 27, 2021 Planning and Zoning Commission meeting agenda, and the May 3, 2021 City Council meeting agenda.

(9)

Planning & Zoning Department

Plat Staff Report

Case: SUB-17-2021

MEETING DATE(S) Planning & Zoning Commission:

April 13, 2021

<u>CAPTION</u>

Consider request by Tim Jackson, Texas Reality Capture & Surveying, LLC for a Plat of Langston Hill Estates for one (4) lots being 7.348 acres situated in the J. Barker Survey, Abstract 40 (Property ID 256323 and 252890) in the Extra Territorial Jurisdiction – Owner: PETER & ELIANA JAMES AND DAVID & JENNIFER JAMES

APPLICANT REQUEST

The applicant is requesting to plat their property into four (4) lots for residential use.

CASE INFORMATION Applicant:	Tim Jackson, Texas Reality Capture & Surveying, LLC
Property Owner(s):	Peter & Eliana James and David & Jennifer James
Site Acreage:	7.348 acres
Number of Lots:	4 lots
Number of Dwelling Units:	4 units
Park Land Dedication:	N/A (ETJ)
Adequate Public Facilities:	A water letter from Sardis-Lone Elm indicates that adequate domestic and fire flow are available to the subject properties.
SUBJECT PROPERTY General Location:	The subject properties are located at the southeast corner of Lone Elm Rd and FM 875
Parcel ID Number(s):	256323 and 252890
Current Zoning:	N/A (ETJ)
Existing Use:	A shed is located at the southeast corner of 875 and Lone Elm Rd. The rest of the subject properties are undeveloped.
Platting History:	Both subject properties are part of the J. Barker Survey, Abstract 40.



Site Aerial:



PLATTING ANALYSIS

The applicant is requesting to plat two existing properties into four (4) lots for residential use. These lots will range in size from 1.395 acres to 2.413 acres which aligns with City and County lot size requirement for properties to be serviced by onsite sewer systems. Sardis-Lone Elm WSC has stated that adequate domestic and fire flow are available to all proposed lots. All lots meet the County requirement for 150' of roadway frontage and all setback requirements have been met.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:

ATTACHED EXHIBITS

- 1. Plat Drawing
- 2. Water Letter

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

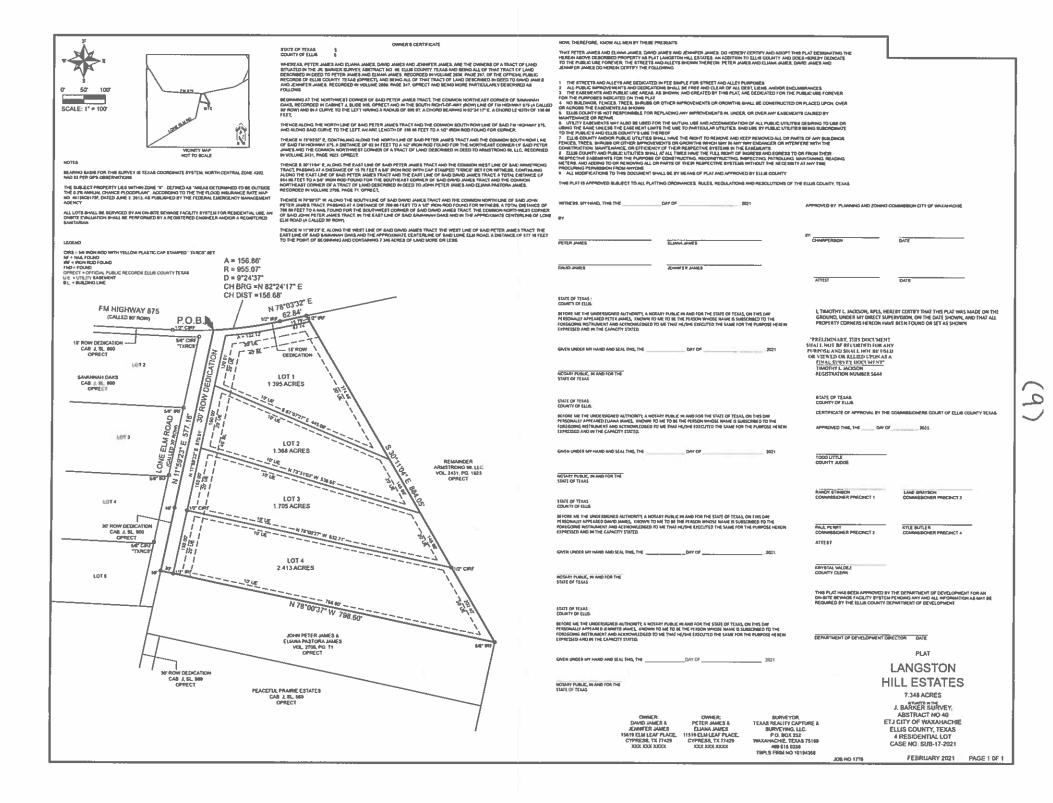
A plat shall not be filed with the Ellis County Clerk until:

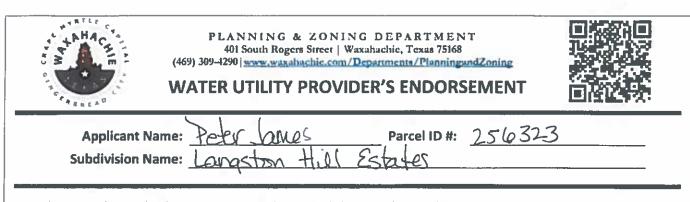
- 1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
- 2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by: Chris Webb Planner <u>cwebb@waxahachie.com</u> Reviewed by: Shon Brooks, AICP Director of Planning <u>sbrooks@waxahachie.com</u>

(9)





(9)

The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

(972) 937-1212
(972) 617-0817
(972) 775-3765
(972) 617-3524
(972) 775-8566
(972) 483-3039

To be completed by the water utility provider:

		Yes	No
1.	I have reviewed a copy of the proposed plat.		
2.	The platted lots fall within our CCN area.		
3.	Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	Ø	
4.	Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	A	
5.	The water line size servicing the lots is 8 inches.		

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Print Name of General Manager of water provider or Designee

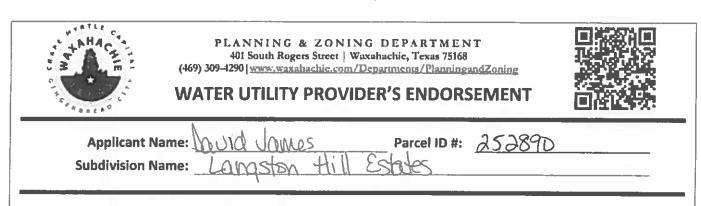
Signature of General Manager of water provider or Designee

Signo 1'5

Name of water provider company

3-2-2021

Date



The City of Waxahachie requires new lots in subdivisions have adequate water flow and pressure to comply with TCEQ and latest Insurance Service Office (ISO) guidelines. Subdivisions served by water providers outside of the City of Waxahachie will need to ensure they can provide water flow/pressure per TCEQ and fire flow per the latest ISO guidelines.

Applicants, please submit this form to your water provider for completion. This completed form must be turned in at the time you submit your application packet to the Planning Department.

Contact Information:

Buena Vista-Bethel SUD	(972) 937-1212
Carroll Water Company	(972) 617-0817
Mountain Peak SUD	(972) 775-3765
Rockett SUD	(972) 617-3524
Sardis-Lone Elm WSC	(972) 775-8566
Nash Foreston WSC	(972) 483-3039

To be completed by the water utility provider:

		Yes	No
1.	I have reviewed a copy of the proposed plat.		
2.	The platted lots fall within our CCN area.	Ø	
З.	Our water system can provide water flow and pressure for domestic service per TCEQ regulations.	প্র	
4.	Our water system can provide the water flow and pressure for firefighting per ISO guidelines.	0	
5.	The water line size servicing the lots is <u>8</u> inches.		D

Print Name of General vater provider or Designee

Signature of General Manager of water provider or Designee

Spar

Name of water provider company

3-2-2021

Date

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Planning & Zoning Department

Plat Staff Report

Case: SUB-24-2021

MEETING DATE(S) Planning & Zoning Commission:

April 13, 2021

<u>CAPTION</u>

Consider request by Hal Barrix, Sumeer Homes, for a **Plat** of Oxford Ranch Two, Phase 3, for eight (8) lots being 17.68 acres situated in the T. Cassidy Survey, Abstract 225 (Property ID 181695) in the Extra Territorial Jurisdiction – Owner: HARLAN PROPERTIES, INC.

APPLICANT REQUEST

The applicant is requesting to plat eight (8) lots for residential use as the third phase for Oxford Ranch Two subdivision.

CASE INFORMATION Applicant:	Hal Barrix, Sumeer Homes
Property Owner(s):	Harlan Properties, Inc.
Site Acreage:	17.68 acres
Number of Lots:	8 lots
Number of Dwelling Units:	8 units
Park Land Dedication:	N/A (ETJ)
Adequate Public Facilities:	A water letter from Rockett SUD states that adequate domestic and fire flow are available to the subject property.
SUBJECT PROPERTY General Location:	Located at the end of Wales Ct and adjacent to 630 Wales Ct and 641 Wales Ct
Parcel ID Number(s):	181695
Current Zoning:	N/A (ETJ)
Existing Use:	Infrastructure such as streets and pad sites have been constructed on the subject property.
Platting History:	The subject property was part of a preliminary plat (PP-18-0147) that received approval from City Council on October 1, 2018.

Site Aerial:



PLATTING ANALYSIS

The applicant is requesting to plat the subject property into eight (8) residential lots as part of a third phase for Oxford Ranch Two. These eight lots were originally going to be part of Phase Two of the Oxford Ranch subdivision, but floodplain issues prevented these lots from being included as part of the plat. The applicant has applied for a LOMR through FEMA and that application is still under review. Staff will need to receive this approval before the plat can be filed with the Ellis County Clerk. Staff received a water letter from Rockett SUD stating that adequate fire and domestic flow are available to this site. All lot and setback requirements have been met.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
- Approval, as presented.
- Approval, per the following conditions:

ATTACHED EXHIBITS

- 1. Plat Drawing
- 2. Water Letter

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

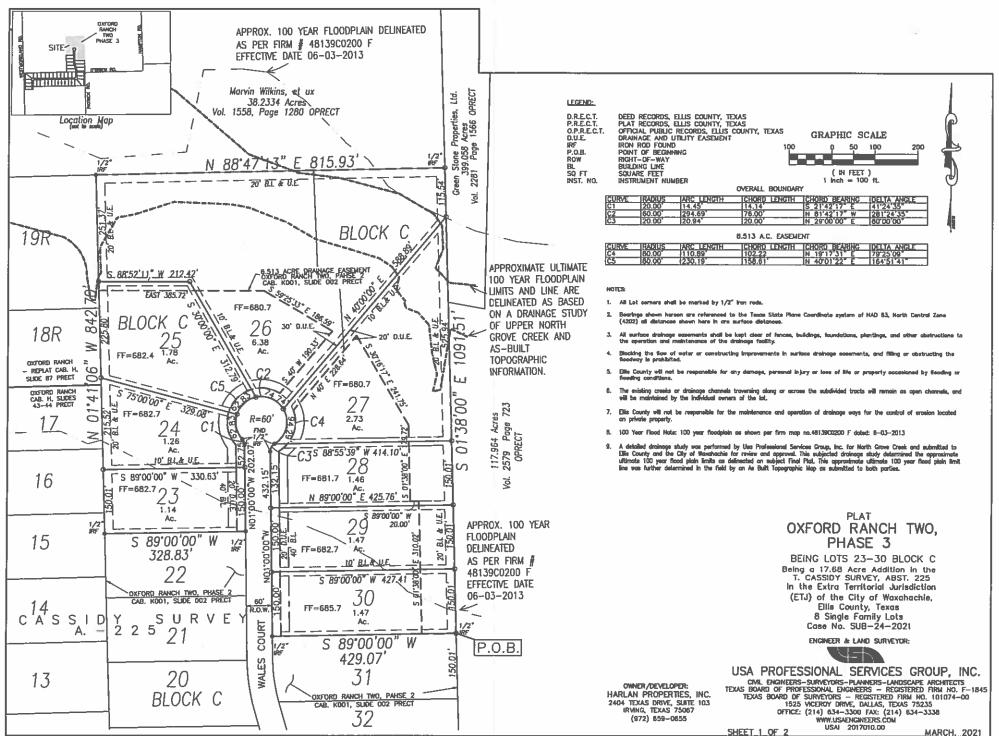
A plat shall not be filed with the Ellis County Clerk until:

1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;

2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by: Chris Webb Planner <u>cwebb@waxahachie.com</u> Reviewed by: Shon Brooks, AICP Director of Planning <u>sbrooks@waxahachie.com</u>



(10)

12

STATE OF TEXAS: COUNTY OF ELLIS: KNOW ALL MEN BY THESE PRESENTS:

That We, Harton Properties, inc., being the owners of that certain tract of land hereinefter described as follows:

2010 MUST- 17.68 Arms

BEING all that certain lat, trect, or percei of land elituded in the T. CASERY SURVEY, ABSTRACT 223, Ellie County, Tevos, and including the readoust tract of a codied 80.274 ecros as described by dead and recorded in Volume 2717, Page 223, Official Public Records, Dills Caunty, Tevos, Official Public Records, Dills Caunty, Tevos, Sold Inter being more particularly described as felamen:

BEDIAMING at a 1/2" Iron red found at the Nertheant camper of Let 31 PHASE 2, of 0357070 RAHCH THD, an addition to Ellis Dounly, Texas, as described by pint and recardied in Cobinet K001, Sildes 002, Pet Records, Ellis County, Texas, and bearling in the West line of a called 117.964 over truct as described by obset and recorded in Volume 2579, Regs 722, Orficial Public Recards, Ellis County, Texas, Texas

THENCE, South 85700700" West, stong the marth line of Lot 31, Presse 2, Oxford Rench Two, a distance of 428.07 feet to a 1/2 inch iron rad found at the Horthwest corner of sold Lot 31 in the East right of way of Weise Court (s 80 feet wise right of way);

THENCE, North 01'00'00" West, stong and East right of way, a distance of 432.15 fast to 1/2 both from red found at the basimples of a curve to the right;

THENCE, along selid ourse to the right, (having a central engle of 60700'00', a radius of 20.00 feet, a chard bearing and distance of North 29'00'00' East, 20.00 feet) an arc distance of 20.94 feet to a 1/2 inch iron rad found at the bearing of a curve to the jeft;

THENCE, chang sold curve to the left, (hoving a central angle of 281'24'35'', a redue of 80.00 feet, a chard bearing and elebance of North 81'42'17' Weet, 78.00 feet) an arc distance of 294.88 feet to a 1/2 linch ism red found at the beginning of a curve to the right;

THENCE, along sold curve to the right, (herving a central angle of 41'24'35", a radius of 20.00 feet, a chord bearing and distance of South 21'42'17" East, 14.14 feet) on are distance of 14.45 feet to a 1/2 linch iron rad feund in the Weet right of way of said Wales Court:

THENCE, along eald Weet right of way, Seuth 01'00'00" East, a diatance of 202.75 feet to 1/2 inch iron red found at the Northeest corner of Lot 22, Phase 2, Outerd Ramch Tea:

THENCE, South 89700'00" West, along the numb line of add Loi 22, a distance of 328.63 feet to a 1/2 inch iron rad found at the Northwest conver at add Loi 22, in the East line of Ontord Ranch as recorded in Cabinet H, Sidee 43-44 of the Pict Records, Dills County, Tambig

THDRCE, stang the correron East line of solid Oxford Reach and the East line of the Oxford Reach - Reptst as recorded in Cablent H, Side 87, Pick Records, Ellis County, Temos, North D174106" West, a distance of 642.70 feet to 1/2 feach incore rold found at the Northeost correr of Lat 198, of solid Reptst and in the South line of that cartain 382.33 curve tract as described by deved and recorded in Volume 1558, Page 1280, Public Recards, Ellis County, Tesus, etc. being in the North line of the offer environmentioned residual tract and 80.2714 ears tract;

THENCE, along odd commen nerth line and south line North 85°47°13" East, a distance of 815.83 four to a 1/2 luch irun rad found at the Northwest corner of add residual tract, add 80.274 acre tract, and Southwest corner of add 32.233 ame tract, baing in the West line of thet certain 399.058 and tractalectiled by dear fractions in the Neutral Southwest corner of add 32.231 ame tract, baing in the West line of thet

THENCE, along sold common line, South 01'38'DO" East, patiently a common Southwest corner of sold 399.056 acre tract and on Easterly corner of that carbon 117.584 ears tract described by deed recented in Volume 2579, Page 723, Officiel Public Records, Elle County, Teass, continuing a defence of 1001.31 foot to the PORIN DF BECHARD card consisting 770'L28 Squares fact, or 17.68 acres of land.

SURVEYOR'S DECLARATION

This is to certify that I, William V, Perry, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey made on the ground; and that all bit corners, angle points, and points of surve have been prope marked on the ground, and that this plat correctly represents that survey made by me.

William V. Perry, R.P.L.S. Texas Replatration No. 4699



FLOOOPLAIN STATEMENT:

A portion of this plat lies within FEMA's 100 year floodplain as defined by the Flood Insurance Rate Map Number 48139C0200 F, published and effective June 03, 2013, and is in "Zone A"

OWNER'S CERTIFICATE

HOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT Horism Properties, Inc., ecting herein by and Urrough its skyle authorized officers, does hereby certify and adopt this plot designating the hereindowe described property as DETORD NAMCH THIC, FINISE 3, an addition to the Ellis County, Issue, and does hereby dedicate to the public use forwar, the strukes and deby always therean. Herein Properties, h.v. does cartly the following:

The structs and alkys are dedicated in fee einple for street and alky purposes.
 All public improvements and dedications shall be the and clear of all debt, lens, and/ar enumbrances.
 The eccentric and public use areas, as shown, and created by the plat, are dedicated for the public use forever for the purposes indicated on the public.

4. No buildings, fences, trees, shrubs, growths, or any other improvements shall be pisced or constructed upon, over, or ocross the see

4. No buildings, fences, tress, strukts, growtint, or any come improvements in use yo prace to unservice services. The second service of the respective symptoxianets in, under, or over any accessments are used by maintanance or respire.
5. Dills County is not responsible for respecting any improvements in, under, or over any accessments area using the serve unless to be used for the motual use and accessmediation of all public utilities destings and and the serve unless the second service of lency of their respective

This plot is approved subject to all pletting ordinances, rules, regulations, and resolutions of the Ellis County, Texas,

Surgeh Shridhareni, ORNER

WITNESS, my hand, this the _____ day of _____ . 20

BY: Harten Preserties, Inc.

Suresh Shridhereni

STATE OF TEXAS

OMEN UNDER MY HAND AND SEAL OF OFFICE, THIS_____DAY OF ___

Notory Public in and for the State of Texas

STATE OF TEXAS: COUNTY OF ELLIS:

Certificate of approval by the Commissioners Court of Ellis County, Texas: Approved this date, the ______ day of _______ 20_____

Todd Little, County Judge

Paul Perty

Rystof Voldez, County Clerk

ner President & A

Randy Stituan

Kyle Skiller ATTEST

Lane Grayson Commissioner Precinct # 2

CM-STT STRAT FACILITY STATEMENT This plot has been approved by the Department of Development of Ells Courty. Tess for on-alls specige deposal facilities and meaks or exceede the minimum negatiments established by ICCD and the Ells Courty Septic Order, pending any and all information as may be required mits the Ells Courty Department of Development.

Department of Development Director

OWNER/DEVELOPER: HARLAN PROPERTIES, INC. 2404 TEXAS DRIVE, SUITE 103 IRVING, TEXAS 75067

CITY OF WAXAHACHIE, TEXAS FINAL PLAT APPROVAL

APPROVED BY: Planning and Zoning Commission City of Worshorble

By:	Chairperson	Date

Date Attest

PLAT OXFORD RANCH TWO. PHASE 3

BEING LOTS 23-30 BLOCK C Being a 17.68 Acre Addition in the T. CASSIDY SURVEY, ABST. 225 In the Extra Territorial Jurisdiction (ETJ) of the City of Waxahachie. Ellis County, Texas 8 Single Family Lots Case No. 5UB-24-2021

ENGINEER & LAND SURVEYOR:



USA PROFESSIONAL SERVICES GROUP. INC. CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS TEXAS BOARD OF PROFESSIONAL ENGINEERS - REQISTERED FIRM NO. F-1845 TEXAS BOARD OF SURVEYORS - REQISTERED FIRM NO. 101074-00 1925 VICENTY DRIVE, DALLAS, TEXAS 75235 OFFICE: (214) 634-3300 FAX: (214) 634-3338 WWW.USAENGINEERS.COM USAL 2017010.00 SHEET 2 OF 2 MARCH, 2021

(972) 659-0655

Dole

PLANNING & ZONING DEPARTMEN 401 South Rogers Street Waxahachie, Texas 75168 (469) 309-4290 www.waxahachie.com/Departments/Plannings WATER UTILITY PROVIDER'S ENDORS	ndZoning	
Applicant Name: <u>HARLAN PROPERTIES</u> Parcel ID #: Subdivision Name: <u>OXFORD RANCH - II, PHASE</u>	1816.95	
The City of Waxahachie requires new lots in subdivisions have adequa comply with TCEQ and latest Insurance Service Office (ISO) guidelines. providers outside of the City of Waxahachie will need to ensure they ca per TCEQ and fire flow per the latest ISO guidelines. Applicants, please submit this form to your water provider for completion turned in at the time you submit your application packet to the Planning I	Subdivisions ser n provide water f	ved by water low/pressure
Buena Vista-Bethel SUD (972) 937-1212 Carroll Water Company (972) 617-0817		
Mountain Peak SUD(972) 775-3765Rockett SUD(972) 617-3524Sardis-Lone Elm WSC(972) 775-8566Nash Foreston WSC(972) 483-3039To be completed by the water utility provider:		
Mountain Peak SUD (972) 775-3765 Rockett SUD (972) 617-3524 Sardis-Lone Elm WSC (972) 775-8566 Nash Foreston WSC (972) 483-3039	Yes	i No
Mountain Peak SUD(972) 775-3765Rockett SUD(972) 617-3524Sardis-Lone Elm WSC(972) 775-8566Nash Foreston WSC(972) 483-3039To be completed by the water utility provider:1.I have reviewed a copy of the proposed plat.	Yes	No
Mountain Peak SUD (972) 775-3765 Rockett SUD (972) 617-3524 Sardis-Lone Elm WSC (972) 775-8566 Nash Foreston WSC (972) 483-3039 To be completed by the water utility provider: 1. I have reviewed a copy of the proposed plat. 2. The platted lots fall within our CCN area.		
Mountain Peak SUD (972) 775-3765 Rockett SUD (972) 617-3524 Sardis-Lone Elm WSC (972) 775-8566 Nash Foreston WSC (972) 483-3039 Fo be completed by the water utility provider: 1. I have reviewed a copy of the proposed plat.		
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Mountain Peak SUD (972) 775-3765 Rockett SUD (972) 617-3524 Sardis-Lone Elm WSC (972) 775-8566 Nash Foreston WSC (972) 483-3039 To be completed by the water utility provider: 1. I have reviewed a copy of the proposed plat. 2. The platted lots fall within our CCN area. 3. Our water system can provide water flow and pressure for domest service per TCEQ regulations. 4 Our water system can provide the water flow and pressure for domest service per TCEQ regulations.	stic a	
Mountain Peak SUD (972) 775-3765 Rockett SUD (972) 617-3524 Sardis-Lone Elm WSC (972) 775-8566 Nash Foreston WSC (972) 483-3039 To be completed by the water utility provider: 1. I have reviewed a copy of the proposed plat. 2. The platted lots fall within our CCN area. 3. Our water system can provide water flow and pressure for dome: service per TCEQ regulations. 4. Our water system can provide the water flow and pressure for firefighting per ISO guidelines. 5. The water line size servicing the lots is inches.	stic a	- S.V.I

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Planning & Zoning Department

Plat Staff Report

Case: SUB-15-2021

MEETING DATE(S) Planning & Zoning Commission:

April 13, 2021

<u>CAPTION</u>

Consider request by Alan Lauhoff, Atlas Associates, Inc., for a **Plat** of Silverthorne Addition for 77 lots, being 32.564 acres situated in the B.B. Davis Survey, Abstract 290 and the W.C. Calder Survey, Abstract 235 (Property ID 182275) – Owner: BLUE BONNET TRAILS, LLC (SUB-15-2021)

APPLICANT REQUEST

The applicant is requesting to plat the subject property into 77 lots for residential use.

Alan Lauhoff, Atlas Associates, Inc.
Blue Bonnet Trails, LLC
32.564 acres
77 lots
77 units
The cash in lieu of park land dedication is \$33,800.00 (\$400.00 per lot for seventy-seven (77) lots).
Adequate public facilities will be available for this development.
Located adjacent to and south of the existing the Blue Bonnet Trails subdivision.
182275
Single Family – 2 (SF-2)
Undeveloped
Situated in the B.B. Davis Survey, Abstract 290 and the W.C. Calder Survey, Abstract 235

Page 1 of 3

Site Aerial:



PLATTING ANALYSIS

The applicant is requesting to plat the subject property into seventy-seven (77) single family lots. This property is located to the south of the existing Blue Bonnet Trails subdivision, and would connect to the River Oaks Blvd stub-out that has already been established. The property is zoned SF-2 and all lots within the subdivision align with the requirements of that zoning including the minimum 12,500 sq. foot lot size requirement.

Staff has requested that River Oaks Blvd (shown to be a 54' ROW on the proposed plat) be an 80' ROW to align with both the thoroughfare plan and remain consistent with the 80' River Oaks Blvd ROW that runs through the Blue Bonnet Trails Subdivision. Per Section 3.1 of the City of Waxahachie Subdivision Ordinance under the *General Adequacy Policy*, "proposed streets shall provide a safe, convenient and functional system for traffic circulation, and shall be properly related to the City's Thoroughfare Plan."

While a two-lane undivided road is sufficient for the Silverthorne Addition development, we need to acquire the full 80' ROW for future growth. This road will also connect to Marvin one day and be a significant point of access between Marvin and Farley. The analysis provided also fails to take traffic impact on Farley St. and Hwy 287 into account.

The applicant has also provided an 80' ROW dedication as part of Phase 1 and Phase 2 of Blue Bonnet Trails. Staff would like to see this 80' ROW dedication continued into the Silverthorne Addition both for consistency and to prevent future roadway bottlenecks between developments.

PLAT RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Disapproval
 - Per Section 3.1 of the City of Waxahachie Subdivision Ordinance under the General Adequacy Policy, "proposed streets shall provide a safe, convenient and functional system for traffic circulation, and shall be properly related to the City's Thoroughfare Plan."
 - 2. The applicant's Trip Generation Letter fails to take into account future growth and additional high traffic roadways in the area.
 - 3. City staff wants to see consistency along River Oaks from the Blue Bonnet Trails subdivision into the proposed Silverthorne Addition.
- Approval, as presented.

ATTACHED EXHIBITS

1. Plat Drawing

APPLICANT REQUIREMENTS

1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.

CITY REQUIREMENTS FOR PLAT RECORDING AND FILING

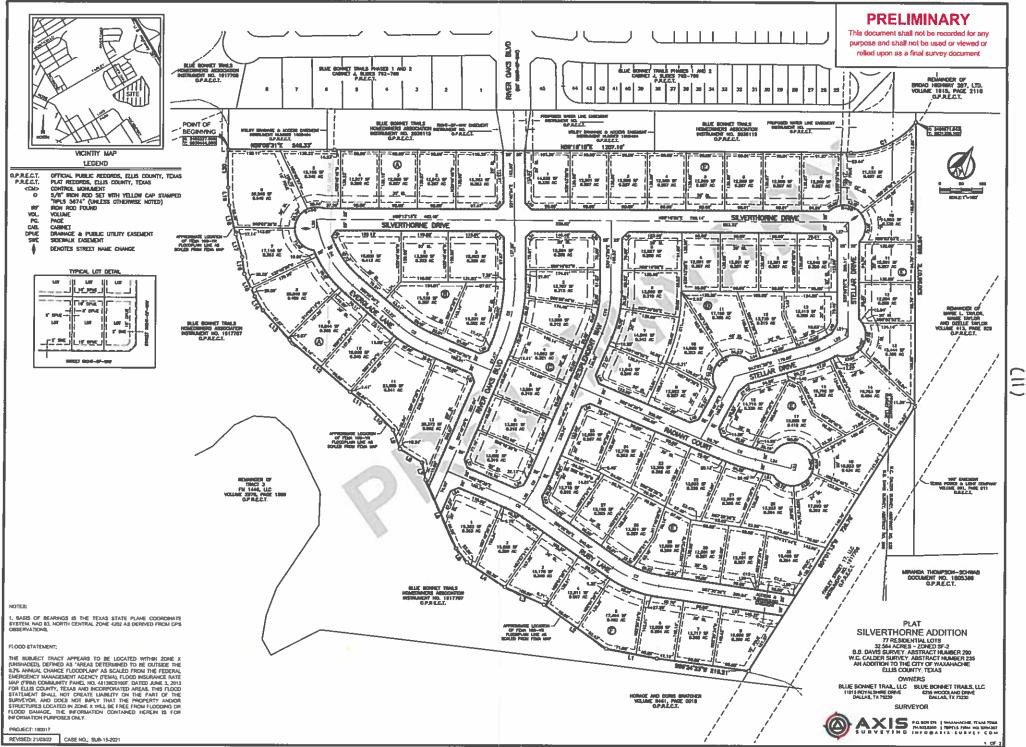
A plat shall not be filed with the Ellis County Clerk until:

- 1. All utilities, infrastructure, and other required improvements have been installed and a letter of acceptance associated with the utilities and infrastructure installation has been received from the Public Works Department;
- 2. A drainage study has been conducted and/or a traffic impact analysis has been conducted as required by the City's subdivision ordinance.

STAFF CONTACT INFORMATION

Prepared by: Chris Webb Planner <u>cwebb@waxahachie.com</u>

Reviewed by: Shon Brooks, AICP Director of Planning <u>sbrooks@waxahachie.com</u>



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C1 50755'20" 195.00" 173.31" N33"48'35"E 187.66"							
			LINE THE	E			
NUMBER	DELTA ANGLE						
C1	50'55'20"			NJJ 48'35"E	167.66'		
C7	23'51'24"	400.00'	166.55"	N19'45'12'W	165.35'		
8	17'41'04"	290.00	77.10	506"36"E	78.06"		
C4	41'13'32'	250.00	179.90*	300'31'30'E	178.05"		
(3			55.33	\$3#'40'55'W	55.77		
C11	F12'30"	500.00*	80.36"	\$77'34'(5'W	80.27		
67	25'27'26"	250.00	115.44*	NOT 44'00'E	114.42		
C6	11'47'21"	250.00'	51.44*	586'04'11'W	51.35		
C8	E'16'45"	250.00'	36.13	H03'41'07'W	36.09*		
C10	22'34'29"	250.00*	0" 99.95" N19"18"44"W		99.29		
C11	22'54'29"	413.90'	165.46*	N151544*	164.39		
Ct2			\$4.80'	515'39'21'W	14.75"		
C13	C13 103'02'10"		81.92"	\$7538'21'W	78.28		
C14	8206'11"	30.00"	80.38*	HIT 27'20'E	72.00		

1. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, HAD B3, HORTH CENTRAL ZONE 4202 AS DERIVED FROM GPS ORSERVATIONS

FLOOD STATEMENT;

THE SUBJECT TRACT APPEARS TO BE LOCATED WITHIN ZONE X THE BUDGECT THACK MAPELARS TO BE LIDGATED WITHIN ZONE X (UNAHADDD, DEFINED AS "NEED ACTIVITIES OF THE CONSIDE THE LITE ANNUAL CHANCE FLOCOPLANY (AS SCALED FROM THE FEDERAL EMPCREYS MANAGEDISTIN ACCENTY (FEMAL TOOD BUDGINARCE RATE MAP (FRON) COMMANY PANEL NO. 4118001107, DATED ANNE 3, 2013 (FOR LISE COMMANY PANEL NO. 4118001107, DATED ANNE 3, 2013 STATUBET SHALL NOT CREATE LANGUITY ON THE PART OF THE STATUBET SHALL NOT CREATE LANGUITY ON THE PART OF THE DEFINITION OF ASTED IN TO MENT. THIS THEOREMITY AND/OR STATUBET SHALL NOT CREATE LANGUITY ON THE PART OF THE DEFINITION OF ASTED IN THE AND THE PART AND/OR DEFINITION OF ASTED IN THE AND THE ADDRESS OF A STRUCTURES LOCATED IN ZONE X WILL BE FREE FROM FLOODING OF FLOOD DAMAGE. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION PURPOSES ONLY

PROJECT: 130017

REVISED: 21/03/22 CASE NO.: 3U5-15-2021

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LINE TABLE NO. OF THE OWNER. BEARING DISTANCE 11 588725'36'8 119.85 12 NRT 54"44"W 178.20* L3 5831163676 100.05 1.4 NI7'44'31'W 105.85 15 MARY ANY DR 41.351 1.0 1055114138118 175.95 17 H42"31"10"W 41.22 LB 1007374870 61.17 LD N53774108198 47.08* £10 N70111257# 80.83* L11 104527171 32.84* L12 NECTO4*45*W 117.56 L13 17753271 13.55' 1.14 M01*35*51*W 37.85 115 M55757's 3"W 58.84' 1.24 H3F30'33'W 40.44" 1.17 M671303*W 55.13' 610 N44'08'42'W 88.48* LtD N34'26'53'W 41.71* L20 N30'51'29'1 90.29* L21 586421179 10.00* 122 530202836 48.341 1.23 STRONG'E 10.00* 1.24 M77560077 85.86* 1.25 NOT 77'16'F 38.46* 1.26 M30746"45"W 22.00 1.27 516'09'57'9 15.00' L28 \$13746°10°W 21.05* L28 557 48'30'E 21.21 130 107710/3075 91.91 Lai 50751'34'9 35.82* 1.32 30579'08'9 17.75 133 N7F13'50'W 21.36 134 513747'34"W 21.04 1.35 N73'43'56'W 21.21 L36 N41'34'05'E 22.20* L37 SS748'30'E 21.21 1.38 51410208 21.21 1.38 1733010316 21.25 L40 N021746*W 25.61 L41 N4301'20'E 17.60* L42 \$54°10'08"E 82.81" LU3 H30'43'56'W 55.00* L44 N43'01'20'E 77.57 L48 N38'40'30'E 22.12 L48 357 48'30'E 21.21

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CONNERTS CERTIFICATE AND DEDICATION

STATE OF TEAAS COUNTY OF FILM

THEREAS, BLUE BOPHET TIME, LLC & BLUE BOPHET TIMER, LLC AND THE DOMETIE DF A TRACT OF LAND LOCATED IN THE & B. DAVIS MANNEY, METNICH ING 380 AND THE W.C. CALDER BLWKY, ARETMACT IKA, 2018, MANANCHCE, BLUE COUNT, TEADS AND BLUE DAVIS OF A TRACT OF LAND DESCRIBED AS THACT 3 IN DEED TO BLUE BOHET TANAS, LLC ARCORDED IN INSTRUMENT MANNEY SUBME, OFFICIAN, PREUE RECORDE, ELDE COUNT, TEADS BY PARCET, AND BERGE PART OF A TRACT OF LAND DESCRIBED TO BLUE BOHET, TANAS, LLC ARCORDED IN INSTRUMENT MANNER VISI INE DAVALET, THE ORDER LOOPE CANTURAL TEADED IN INSTRUMENT MANNER VISI INE DAVALET. AND DERIN LOOPE AND CANTURAL TEADED IN INSTRUMENT MANNER VISI INE DAVALET. AND DERIN LOOPE AND CANTURAL TEADED IN INSTRUMENT MANNER VISI INE DAVALET. AND DERIN LOOPE AND CANTURAL TEADED IN INSTRUMENT MANNER VISI INE

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HORTH BY HORT, A DISTANCE OF 17538 FEET TO A BRANCH INCH INCH INCH A YELLOW CAP STAMPED TIPES SAFE BET FOR COMMEN.

HORTH 42"3THP WEIT, A DISTANCE OF 41.22 FEET TO A SHARCH INCHING WITH A VILLENI CAP STAMPED THES SHIT SET FOR COMMEN

NORTH GETZINE WEST, A DISTANCE OF 61.1F FEET TO A MONCH MON HOR WITH A VILLOW CAP STAMPED WEST NOT SET FOR CONSEN-

ADATH STINGS" WEST, A DISTANCE OF 47.00 FEET TO A SIMPLIFY INCH INCH INCH INCH A WELLOW CAP STAMPED TIPLE 1074" SET FOR CONVER-

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DRTH M"2717" WEST, A DISTANCE OF \$2.44 FEET TO A MAINCH INCH NOD WITH A YEARDY CAP TAMPED WING SITH SET FOR CONVER:

NORTH BERARD WERT, A DISTANCE OF UITAR FEET TO A SAMICH PICK MOD WITH A VELICIE CAP STAMPED THRUE 1875" SET FOR CORNER

NORTH 73"3372" WEST, A DISTANCE OF 93.35 FEET TO A \$40-NCH SIGN ROD WITH A YELLOW CAP STAMPED WILL SET / SET FOR CONVER.

HORTH AT'855" WEST, A CHETANCE OF 37.00 FEET TO A SO-ACH WON ROD WITH A VELLOW CAP-STAMPED HIRLS SIJE SET FOR COMMUN-

NORTH SETST17 WEST, A DETAILED OF MUSH FEET TO A MEACH MON ROD WITH A VILLOW CAP STANFED THE S MICH SHE FOR COMMEN

NTH SECRET. WEST, A DESTANCE OF 48-44 FEET TO A SE-MCH INCH NOD WITH A YELLOW CAP

NORTH APTIGHT WERT, A DISTANCE OF MAIL FEET TO A SHANCH INCH NOD WITH A YELLOW CAP STAMPED "RPLS SITA" SET FOR COPPER

NORTH AFTREAT WEST, A DISTANCE OF BLAD FEET TO A BRANCH MON MOD WITH A YELLOW CAP. STAMPED TIPLE 6474" SET FOR CORM

NORTH 34"20ST WEST, A DISTANCE OF 4121 FEET TO A MANCH INCH INCH WITH A VILLOW CAR STANPED THE S MEET SET FOR COMMEN

NORTH 38'512F WEST, A DISTANCE OF \$148 FEET TO THE POINT OF BEGINNING AND CONTAINING 1 414 MIR BOUWRE FEET OR \$2,504 ACRES OF LAND, NORE DRUCESS.

PRELIMINARY

This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

NOW THEREFORE KNOW ALL MEN BY THESE PRESERVATION

THAT BLE BOARET TRAK, LLE AND BLE BOARET TRAKER, LLE ACTING HEREIN BY AND THROUGH THEM DULY AUTHORIZED OFFICERS, DO HEREBY ADDRT THE PLAT DESIGNATING THE HEREARING DESCRIPTION OF THE ASSOCIATION AND ADDRESS TO ADDRESS AND ADDRESS AN BY THE CITY OF WARAWARHE, IN ADDITION, UTALITY EARCHINES MAY ALSO BE USED FOR THE MATURA, USE AND ACCOMMIDATION OF ALL PUBLIC UTILITYS DESIMING TO LINK OR USING

THIS PLAT APPROVED SUBJECT TO ALL PLATTING OPENNICES, RESEARCH ATONS AND RESOLUTIONS OF THE CITY OF WASANACHE, TEXAS

2021

WITHERS, MY HAND, THIS THE ___DAY DF___

BLUE BOHNET TRAL LLC A BRENEWAR

> STATE OF TEXAS SOLARTY OF ELLIS

BUYORE ME, THE UNDERSIGNED, A NOTATY FURLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED INCHAINING DIVINEARABLE HOW TO BE THE PERSON WHORE MAKE IS SUBSCRIED. TO THE FOREGOING DISTRIBUTION AD ADDROVEEDOED TO BE THAT HE EXEMPTION THE SAME FOR THE PURPORE AND CONDECRATION THEREIN EXPRESSED.

GAVEN LANDER MY HAND AND BEAL OF OFFICE THIS THE _____ DAY OF ____ MOP1

HOTARY PUBLIC IN AND FOR THE STATE OF TEXAL

HAR BORNEY TRACK LIFE AND SHARMARAHA - PRESERVEN

STATE OF FEMAL COLUMNY OF ELLER

= INDERSIGNESS, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THE DAY PERSONNLY APPEARED INCRMMEND SYMMADAME INCOME TO BE THE PROCESSION WHOSE HAVE IS SUBJECTIVED TO THE FOREGOING INSTRUMENT, AND ACCOUNTING TO ME THAT HE DARRIES THE SAME FOR THE PUBLICE AND CONSTRUCTIONS THERE EXPRESSED.

GIVEN UNDER WY HAND AND BEAL OF OFFICE THIS THE _____ DAY OF ____

0.677

DATE

NOTARY PUBLIC IN AND FOR THE STATE OF IT SAN

KNOW ALL MEN BY THESE PRESENTS:

THAT LIGEAN SHOPHINE, OD HEREBY CONTRY THAT I PREMARDI THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CONVER MONALMENTS INFORM THEREON AS SET WORE PROPERTY PLACED INDEX MY PERSIONAL SUPERVISION IN ACCORDANCE WITH THE SUBDYSIDIA ORDINANCE OF THIS CITY OF WAXANCHIL.

SEAN BHROPSHIPE RECEIPTERED PROFESSIONAL LAND ILLINEYDR MO WERA

APPROVED BY: PLANNING AND SCHING COMMISSION CITY OF WAXAWACHE

CHAR PERSON

ATTEN

PI AT SILVERTHORNE ADDITION 17 RESIDENTIAL LOTS 32.544 ACRES - ZONED 8F-2 B.B. DAVIS SURVEY, ABSTRACT MUMBER 200 W.C. CALDER SURVEY, ABSTRACT MUMBER 201 W.C. CALDER SURVEY, ABSTRACT MUMBER 201 AN ADDITION TO THE CITY OF WAXAWACHIE ELLIS COUNTY, TEXAS OWNERS

BLUE BONNET TRAIL, LLC BLUE BONNET TRAILS, LLC 11015 ROYALSHIRE DRIVE 6256 WOODLAND DRIVE DALLAS, TX 75230 DALLAS, TX 75230 SURVEYOR



(12)

CRAD

6110

RBREA

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Planning & Zoning Department

Zoning Staff Report

Case: ZDC-43-2021

MEETING DATE(S)

Planning & Zoning Commission:

April 13, 2021

City Council:

April 19, 2021

CAPTION

Public Hearing on a request by Ron Barson, Ledbetter Real Estate LTD, for a **Zoning Change** from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) - Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

APPLICANT REQUEST

The applicant is requesting approval of a Planned Development to allow for storage of wine within an existing building (1014 Ferris Ave, Suite 106).

CASE INFORMATION Applicant:	Ron Barson, Ledbetter Real Estate
Property Owner(s):	Ron Barson, Ledbetter Real Estate
Site Acreage:	0.576 acres
Current Zoning:	Planned Development-37-General Retail
Requested Zoning:	Planned Development-General Retail
SUBJECT PROPERTY General Location:	1014 Ferris Avenue, Suite 106
Parcel ID Number(s):	176876
Existing Use:	Ferris Plaza (Retail Center)
Development History:	N/A

Table 1: Adjoining Zoning & Uses

Direction	Zoning	Current Use				
North GR		Retail Use				
East	GR	Pollo Regio Restaurant				
South	GR	Retail/Residential Use				
West	GR	AutoZone				

Future Land Use Plan:

Retail

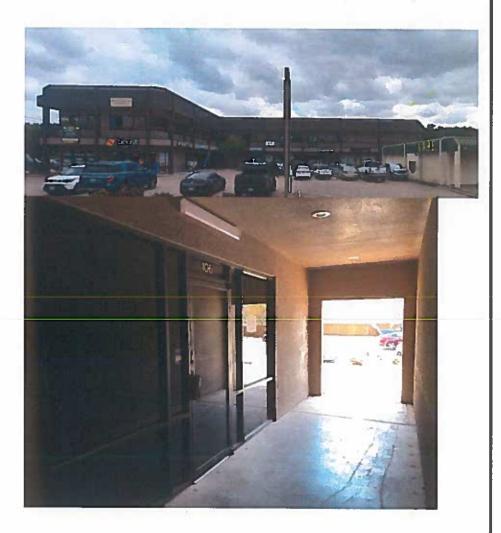
Comprehensive Plan:

Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of nonresidential land use (e.g., office, commercial).

The subject property is accessible via Ferris Ave. and 6th St.

Thoroughfare Plan:

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant is requesting approval of a Planned Development to allow for a storage warehouse use within the General Retail zoning district. Due to the Storage Warehouse use not being allowed within the General Retail zoning district, the requested Planned Development must be approved by City Council.

Proposed Use:

The applicant is requesting approval of a Planned Development to allow for the storage of wine within an existing building (Suite 106) located at 1014 Ferris Avenue. Per the applicant, the existing office will only be used for storage and not accessible to the general public. The wine is intended to be stored in cases. Per the TABC (Texas Alcohol Beverage Commission) website, in order to receive a winery storage permit, TABC states that "in order to store wine, the storage must be located in a wet city and climate controlled environment. The applicant intends to store the wine at the subject property for a maximum of two years.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, <u>23</u> notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

PUBLIC OWNER NOTIFICATION RESPONSES

Staff received five (5) letters of opposition for the proposed use.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
 - 1. If the applicant's approved use exceeds two years from the City Council/Ordinance approval date, staff recommends that the applicant come back to City Council to amend the Planned Development to allow for more time.

ATTACHED EXHIBITS

- 1. Property Owner Notification Responses
- 2. Floor Plan Layout

APPLICANT REQUIREMENTS

- 1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
- 2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by: Colby Collins Senior Planner ccollins@waxahachie.com Reviewed by: Shon Brooks, AICP Director of Planning <u>sbrooks@waxahachie.com</u>

PropertyID	Owner's Address	Acreage	Legal Description	Owner's Address	Owner's City	Owner's State	Owner's ZIP	Physical Address
173189	LEDBETTER REAL ESTATE LTD	0.284	LOT 1 DYESS-BALES ADD 0.284 AC	105 RIDGECREST DR.	WAXAHACHIE	TX	75165	CRIDDLE ST WAXAHACHIE TX 75165
173190	JORDAN IRVIN D & MELONY A	0.142	LOT 2 DYESS-BALES ADD 142 AC	413 DUNN ST	WAXAHACHIE	TX	75165	413 DUNN ST WAXAHACHIE TX 75165
174786	VIEN LADD	0.142	LOT 2 LYONN PLACE . 142 AC	1015 FERRIS AVE	WAXAHACHIE	IX	75165	415 DUNN ST WAXAHACHIE TX 75165
176865	CHANEY BOYS	0,165	LOT 3 BLK 17 WILLIAMS-REV 0.165 AC	1601 LIVE OAK ST	COMMERCE	TX	75428	1008 FERRIS AVE WAXAHACHIE TX 75165
176866	AXL & L ENTERPRISES LLC	0.4313	ALL 18 WILLIAMS 0.4313 ACRES	3711 FM 1446	WAXAHACHIE	TX	75167	1102 FERRIS AVE WAXAHACHIE TX 75165
176867	MDJ CORP SONIC DRIVE IN	0.39	ALL 18A WILLIAMS 0.39 ACRES	1104 FERRIS AVE	WAXAHACHIE	TX	75165	1104 FERRIS AVE WAXAHACHIE TX 75165
176875	LEDBETTER REAL ESTATE LTD	0.234	LOT 1 BLK 16 WILLIAMS-REV 0.234 AC	105 RIDGECREST DR.	WAXAHACHIE	TX	75165	1006 FERRIS AVE WAXAHACHIE TX 75165
176876	LEDBETTER REAL ESTATE LTD	0.576	LOT 1;2;4 BLK 17 WILLIAMS-REV 0.576 AC	105 RIDGECREST DR.	WAXAHACHIE	TX	75165	1014 FERRIS AVE WAXAHACHIE TX 75165
176877	COOPER SHERRI & RANDY PAMETICKY	0,136	LOT 5 BLK 9 WILLIAMS-REV 0,136 AC	206 W CRIDDLE ST	WAXAHACHIE	TX	75165	206 W CRIDDLE ST WAXAHACHIE TX 75165
176883	BARTON MICHAEL G	0,163	4 B WILLIAMS 0.163 ACRES	129 COUNTRY DR	WAXAHACHIE	TX	75165	409 DUNN ST WAXAHACHIE TX 75165
176887	BRADLEY CONNIE	0.262	LOT 3 BLK 9 WILLIAMS-REV .262 AC	503 DUNN ST	WAXAHACHIE	TX	75165	503 DUNN ST WAXAHACHIE TX 75165
176888	KARAMATIC DANA H	0.433	LOT 4 BLK 9 WILLIAMS-REV .433 AC	501 DUNN ST	WAXAHACHIE	TX	75165	501 DUNN ST WAXAHACHIE TX 75165
176889	SHARP RYAN & AMBER D	0.199	LOT 3 BLK 7 WILLIAMS-REV . 199 AC	306 W ROSS ST	WAXAHACHIE	TX	75165	306 W ROSS ST WAXAHACHIE TX 75165
176890	MC ENTIRE SAM & RACHAEL	0.175	4 7 WILLIAMS 0.175 ACRES	403 DUNN ST	WAXAHACHIE	TX	75165	403 DUNN ST WAXAHACHIE TX 75165
176893	BUCKNER GERALD E & CINDY L	0.098	LOT 3 BLK 8 WILLIAMS-REV 0.098 AC	3541 FM 878	WAXAHACHIE	TX	75165	306 W 6TH ST WAXAHACHIE TX 75165
176897	BALSAMO THERESE A	0.098	LOT 1 BLK 7 WILLIAMS-REV 0.098 AC	305 W 6TH ST	WAXAHACHIE	TX	75165	305 W 6TH ST WAXAHACHIE TX 75165
176898	BLACK AMBER M	0.175	2 7 WILLIAMS 0.175 ACRES	405 DUNN ST	WAXAHACHIE	TX	75165	405 DUNN ST WAXAHACHIE TX 75165
176941	KAH III LLC DBA KS HOOGLAND III LLC	0.7285	LOT 2B-R BLK 28 WILLIAMS-REV 0.7285 AC	2500 LEHIGH AVE	GLENVIEW	IL,	60026	1107 FERRIS AVE WAXAHACHIE TX 75165
176945	ONE FERRIS PROPERTY LLC	0.406	LOT 1 BLK 26 WILLIAMS-REV .406 AC	1007 FERRIS AVE	WAXAHACHIE	TX	76165	1007 FERRIS AVE WAXAHACHIE TX 75165
176948	VIEN LADD & G LOWRIE	0.414	PT 1 27 WILLIAMS 0.414 ACRES	1015 FERRIS AVE	WAXAHACHIE	TX	75165	1015 FERRIS AVE WAXAHACHIE TX 75165
176949	VIEN LADD	0.12	LOT 2A BLK 27 WILLIAMS-REV 12 AC	1015 FERRIS AVE	WAXAHACHIE	TX	75165	402 W 6TH ST WAXAHACHIE TX 75165
176950	VIEN LADD	0.294	LOT 28 BLK 27 WILLIAMS-REV .294 AC	1015 FERRIS AVE	WAXAHACHIE	TX	75165	1009 FERRIS AVE WAXAHACHIE TX 75165
197757	AUTOZONE INC #1338	0.505	1A 16 WILLIAMS REV 0.505 ACRES	PO BOX 2198	MEMPHIS	TN	38101	1000 FERRIS AVE WAXAHACHIE TX 75165

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City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-43-2021</u>

JORDAN IRVIN D & MELONY A 413 DUNN ST WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 13, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 19, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

(12)

 Public Hearing on a request by Ron Barson, Ledbetter Real Estate LTD, for a Zoning Change from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: <u>Planning@Waxabachie.com</u> for additional information on this request.

Case Number: ZDC-43-2021

City Reference: 173190

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, April 6, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

OPPOSE SUPPORT Continents: rinted Name and Title

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.





City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-43-2021</u>

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VIEN LADD 1015 FERRIS AVE WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 13, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 19, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. **Public Hearing** on a request by Ron Barson, Ledbetter Real Estate LTD, for a **Zoning Change** from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

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Case Number: ZDC-43-2021

City Reference: 174786

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, April 6, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

Comments:

SUPPORT

Printed Name and Title

] OPPOSE

unn st Address

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If you are not the addressee at the top of this form, but would like to submit a response, please contact the City for a blank form.

(12)



City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-43-2021</u>

VIEN LADD & G LOWRIE 1015 FERRIS AVE WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 13, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 19, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. **Public Hearing** on a request by Ron Barson, Ledbetter Real Estate LTD, for a **Zoning Change** from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: <u>Planning@Waxahachie.com</u> for additional information on this request.

Case Number: ZDC-43-2021

City Reference: 176948

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, April 6, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

Comments: SUPPORT Comments: Signature Signature OWNEN Printed Name and Title SUPPORT

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City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-43-2021</u>

VIEN LADD 1015 FERRIS AVE WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 13, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 19, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

 Public Hearing on a request by Ron Barson, Ledbetter Real Estate LTD, for a Zoning Change from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: <u>Planning@Waxahachie.com</u> for additional information on this request.

Case Number: ZDC-43-2021

City Reference: 176949

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, April 6, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

Comments:

SUPPORT

march

Printed Name and Title

OPPOSE

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-43-2021</u>

VIEN LADD 1015 FERRIS AVE WAXAHACHIE, TX 75165

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, April 13, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, April 19, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

1. **Public Hearing** on a request by Ron Barson, Ledbetter Real Estate LTD, for a **Zoning Change** from Planned Development-37-General Retail to Planned Development-General Retail, located at 1014 Ferris Avenue, Suite 106 (being a portion of Property ID 176876) -Owner: LEDBETTER REAL ESTATE LTD (ZDC-43-2021)

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: <u>Planning@Waxahachie.com</u> for additional information on this request.

Case Number: ZDC-43-2021

City Reference: 176950

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Comments:

SUPPORT

Printed Name and Title

OPPOSE

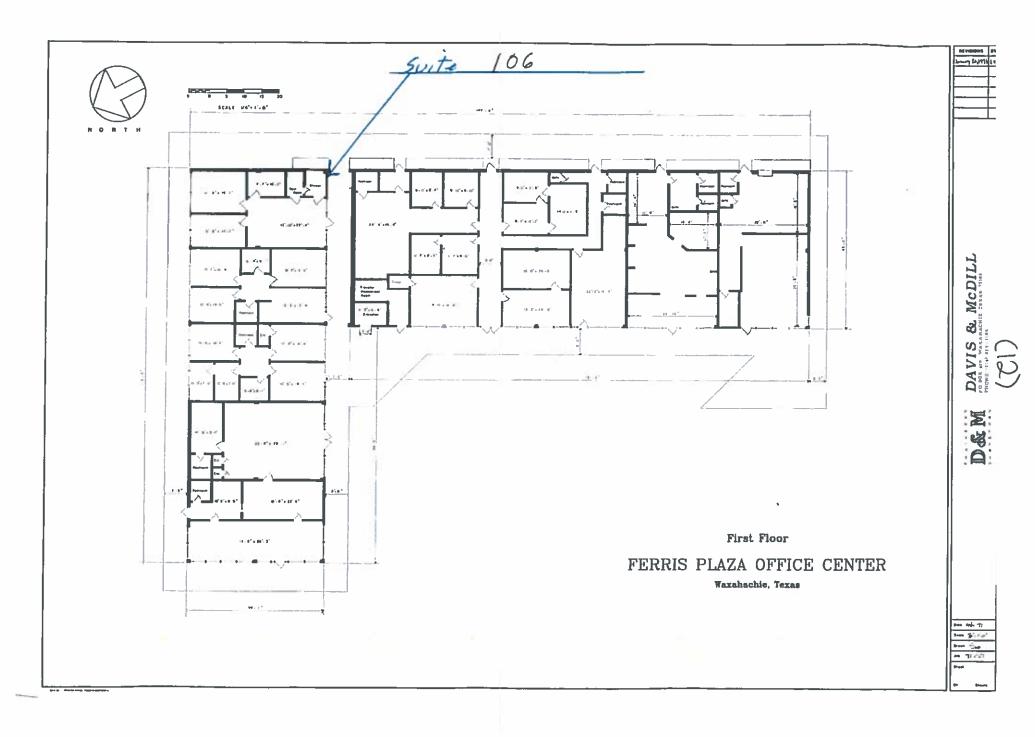
Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



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(14)

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-25-2021

MEETING DATE(S)

Planning & Zoning Commission:

April 13, 2021

City Council:

April 19, 2021

<u>CAPTION</u>

Public Hearing on a request by Bryan Hull, Real Estate Buy Design, for a **Zoning Change** from a Light Industrial-1 and Future Development zoning district to Planned Development-Light Industrial-1, located at 4743 N Interstate 35 (being Property ID 188458) - Owner: CARLINGFORD PROPERTIES LLC (ZDC-25-2021)

APPLICANT REQUEST

The applicant is requesting approval of a Planned Development to allow for outside storage and outdoor display.

CASE INFORMATION Applicant:	Bryan Hull, Real Estate Design	
Property Owner(s):	Carlingford Properties, LLC	
Site Acreage:	7.081 acres	
Current Zoning:	Light Industrial-1 and Future Development	
Requested Zoning:	Planned Development-Light Industrial-1	
SUBJECT PROPERTY General Location:	4743 N Interstate Highway 35	
Parcel ID Number(s):	188458	
Existing Use:	Currently Vacant (Previously used by Espinoza Stone)	
Development History:	N/A	

Table 1: Adjoining Zoning & Uses

Direction	Zoning	Current Use
North	LI1	Industrial Warehouse/Storage Use
East		N. Interstate 35 E. Service Rd.
South	LI1	Espinoza Stone
West	FD	Undeveloped Land



(14)

Future Land Use Plan:

Comprehensive Plan:

Highway Commercial

Highway Commercial areas are intended to allow for traditional commercial land sues, but such uses should be developed to a higher standard. For example, outside storage may be permitted, but would have to be screened and not visible from the road. In addition, a more limited array of commercial uses would be permitted. Hotels, motels, and car dealerships would be permitted, for example, but manufactured home sales and self-storage buildings would not. The idea is for these areas to show a positive image of Waxahachie and make visitors want to travel into the main part of the City.

Thoroughfare Plan:

The subject property is accessible via N. Interstate Highway 35

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant is requesting approval of a Planned Development to allow for outside storage and outdoor display.

Proposed Use:

The applicant, Powerscreen TX, intends to occupy the previously used Espinoza Stone site for outside storage and display. *Espinoza Stone intends to move to the adjacent site*. Powerscreen TX designs and manufactures equipment for crushing, screening, washing, grinding, and recycling wood, concrete, stone, or other similar materials. The company also intends to store and display the heavy equipment for sale at this location. Per the Operational Plan, Powerscreen TX intends to have three full time employees in the office building. There will also be an additional two full time employees operating the warehouse building and equipment yard. Proposed hours of operation will be from 7:30am until 5:30pm, Monday thru Friday.

SPECIAL EXCEPTION/VARIANCE REQUEST

<u>Concrete</u>

The applicant requests that any new pavement added to the site will be crushed gravel opposed to the required concrete.

(14)

• Staff suggests that any pavement added in the future be concrete.

STAFF CONCERNS

<u>Concrete</u>

The applicant requests that any new pavement added to the site will be crushed gravel opposed to the required concrete.

Staff suggests that any pavement added in the future be concrete.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, <u>5</u> notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

- Denial
- Approval, as presented.
- Approval, per the following comments:
 - 1. A mutually agreed upon Development Agreement will be required for the property.
 - 2. The operation of crushing will not be allowed at the property.

ATTACHED EXHIBITS

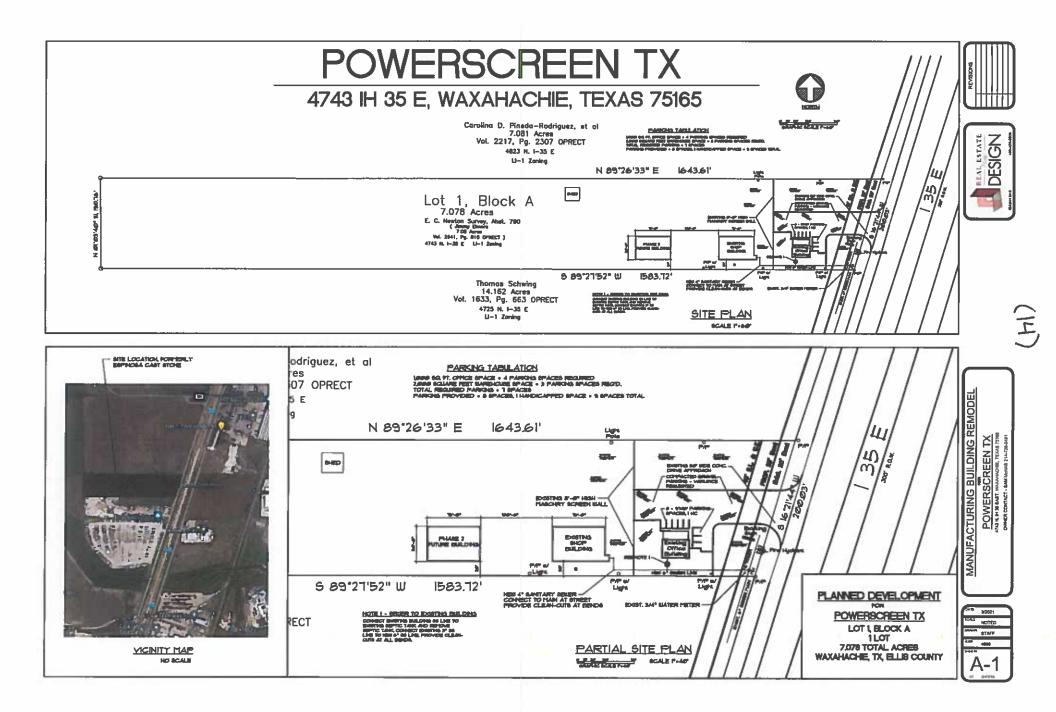
- 1. Site Layout
- 2. Elevation/Façade Plan
- 3. Landscape Plan

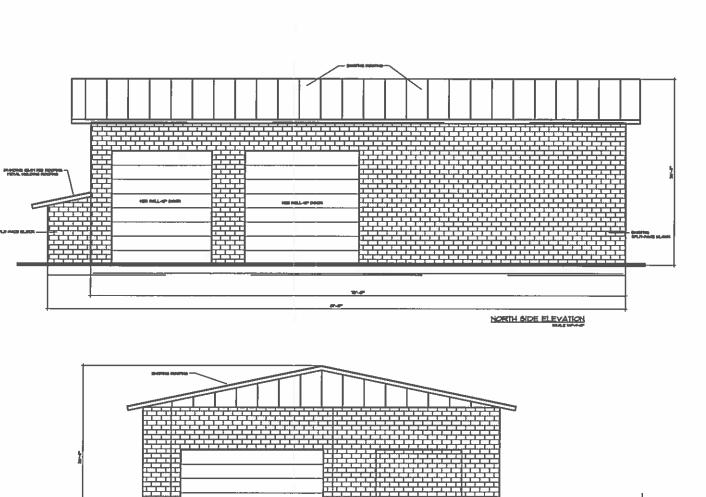
APPLICANT REQUIREMENTS

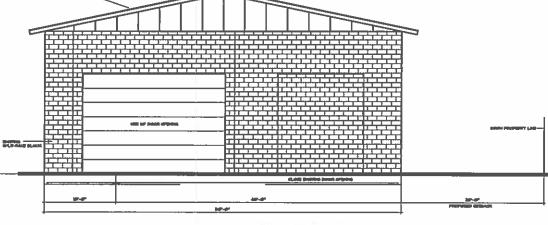
- 1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
- 2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by: Colby Collins Senior Planner ccollins@waxahachie.com Reviewed by: Shon Brooks, AICP Director of Planning <u>sbrooks@waxahachie.com</u>







WEST SIDE (REAR) ELEVATION

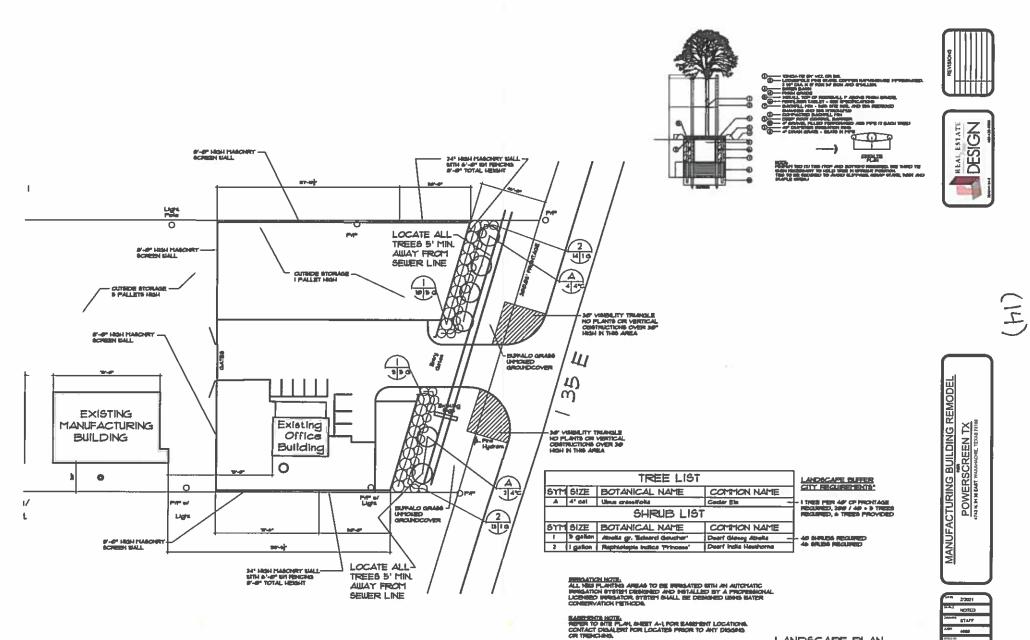
(14)

DESIGN HLAL ESTATE

MANUFACTURING BUILDING REMODEL POWERSCREEN TX 1144 4154 644 TWANDET TAA TTM

GAN 2/2021 NOTED

STAFF 4995 A-4



LANDSCAPE PLAN

L-1

.

Planning & Zoning Department

Zoning Staff Report

Case: ZDC-07-2021



MEETING DATE(S)

Planning & Zoning Commission:

April 13, 2021 (continued from March 23, 2021)

City Council:

April 19, 2021

ACTION SINCE INITIAL STAFF REPORT

At the February 23, 2021 Planning and Zoning meeting, the Planning and Zoning Commission voted 5-0 to continue case number ZDC-07-2021 to the March 23, 2021 Planning and Zoning meeting.

(16)

At the March 23, 2021 Planning and Zoning meeting, the Planning and Zoning Commission voted 6-0 to continue case number ZDC-07-2021 to the April 13, 2021 Planning and Zoning meeting.

CAPTION

Public Hearing on a request by Ed Fleming, Walton Global Holdings, LTD, for a **Zoning Change** from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) - Owner: WALTON TEXAS LP (ZDC-7-2021)

APPLICANT REQUEST

The applicant intends to create a Planned Development to allow for single family residential, multifamily residential, mixed use residential, mixed use commercial, and commercial/retail on 2,813 acres.

CASE INFORMATION Applicant:	Edward R. Fleming, Walton Global Holdings, Ltd.
Property Owner(s):	Walton Texas LP
Site Acreage:	2,813 acres
Current Zoning:	Future Development and Planned Development (Ord. 2330)
Requested Zoning:	Planned Development-Mixed Use Residential
SUBJECT PROPERTY General Location:	Located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road
Parcel ID Number(s):	182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468
Existing Use:	The subject property is currently undeveloped.
Development History:	N/A

Direction	Zoning	Current Use
North	N/A	ETJ
East	LI1	Industrial Warehouse
South	N/A	ETJ
West	N/A	ETJ

Future Land Use Plan:

Comprehensive Plan:

Low Density Residential, Mixed Use Residential, Retail, and Public/Semi-Public

<u>Low Density Residential</u>: This category is representative of smaller single family homes and some duplex units. The majority of Waxahachie's current development is of similar density. It is appropriate to have approximately 3.5 dwelling units per acre.

<u>Mixed Use Residential</u>: Areas with a mixture of residential and non-residential uses, with a larger percentage of residential. Approximately 80 percent of the acreage or square footage of any proposed development should be residential, with the remaining 20 percent of the acreage or square footage nonresidential. Acreage would apply in a horizontal mixed use development, while square footage would apply in a vertical development. Both vertical and horizontal mixed use could be provided together.

<u>Retail</u>: Retail includes areas that have restaurants, shops, grocery stores, and personal service establishments. Retail businesses generally require greater visibility than do other types of non-residential land use (e.g., office, commercial).

<u>Public/Semi-Public</u>: This land use category includes uses that are educational, governmental or institutional in nature. This type of land use is generally permitted within any area, therefore, only the current Public/Semi-Public uses are shown on the map.

Site Image:



PLANNING ANALYSIS

Purpose of Request:

The applicant intends to create a Planned Development to allow for single family residential, multifamily residential, mixed use residential, mixed use commercial, and commercial/retail on 2,813 acres.

Case History:

Since the applicant's original submittal in 2016, city staff has continuously worked diligently with the applicant to help prepare a development meeting the City's standards and the intent of the Comprehensive Plan. The original submittal from 2016 was withdrawn and the applicant reapplied in 2018. There were two Joint Work Sessions held with the City Council and Planning and Zoning Commission on August 27, 2018 and February 12, 2019 to review and discuss the proposed development.

Staff has worked with the applicant to address questions in relation to densities and amenities provided. From the original proposal, the applicant had not listed a particular residential lot count. Staff worked with the applicant to reduce the overall densities. In the original submittal in 2016 the residential unit count was presented at 10,200, 9,875 in 2018, and the proposed residential unit count with this proposal is 8,907. The amenities provided went from three amenity centers, to four with this proposal. Staff has also worked to ensure that these amenity centers include facilities that are substantial in nature, with each amenity center requiring a pool.

Per the minutes of the 8/27/18 meeting, key notes from the Joint Work Session include:

- The applicant proposed three (3) school sites. There was me mentioned concern with this being adequate for the development.
- The applicant proposed three (3) zoning districts (Residential District, Neighborhood Village District, and Mixed Use District)
 - o 10,200 residential units proposed
- The joint work session discussed how the development will fit onto the site, noting entrance to the Planned Development will be from IH-35 as well as Highway 287 noting approximately 90 percent of the property is prairie fields
- The applicant proposes a Mixed Use District which will include approximately 351 acres (would be higher density oriented commercial uses, and a mixture of uses such as residential, recreation and multi-family)
- There was discussion proposed development to serve Emory Lakes and surrounding area with uses such as grocery store and large retail stores. The joint work session indicated concern and reiterated that the development must be self-contained and include commercial retail to serve the development rather than adding to the current retail and businesses in Waxahachie
- The applicant indicated this is a proposed 30 year project constructed in phases
- The joint session indicated a need for a commitment for a future fire department and police sub-station

Per the minutes of the 2/12/19 meeting, key notes from the Joint Work Session include:

- The applicant proposed three (3) zoning districts (Residential District, Neighborhood Village District, and Mixed Use District)
 - o 9,875 residential units proposed
- The applicant reviewed the lot sizes and lot mix, sufficiency of amenity package, PID justification, and amount of commercial property
- There was discussion about the responsibility of the ongoing maintenance of the amenity centers and the applicant noted the Homeowner's Association will pay the maintenance fees after the PID is completed

- The joint work session included a discussion about concerns with the PID tax (noting the proposed number is half of the city tax)
 - The applicant noted the proposed rate is the max that the market can handle according to their financial advisors.
 - The applicant explained the proposed \$125,000,000 PID will be used for water, sanitary sewer, utilities, roadways, and landscape and then will be turned over to the city for ongoing maintenance
- The joint work session members discussed concerns about not meeting the city's lot size requirements
- Council/PZ concerns about the density of the area, the high PID tax, and the minimum city development standards not being met

Property History:

On September 6, 2005, City Council approved Ordinance 2330, which rezoned the subject property from Single Family-1 (SF1) and Future Development (FD) to Planned Devolvement-Mixed Use Community. The Planned Development-Mixed Use Community was approved as a "Free Standing" Planned Development District which included Single Family, Multi-Family, General Retail, and General Retail-Mixed Use.

For comparison purposes, if the applicant were to develop under the existing Planned Development (Ord. 2330), the applicant would be allowed to construct at a higher density than the proposed development below.

Proposed Use:

The applicant intends to create a Planned Development to allow for single family residential, multifamily residential, mixed use residential, mixed use commercial, and commercial/retail uses on 2,813 acres, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road along Southwest corner of IH-35 and US Highway 287. Per the "Phasing Plan", the aforementioned zoning uses is currently proposed to be constructed over seventeen phases.

At the February 23, 2021 Planning and Zoning meeting, the Planning and Zoning Commission requested that the applicant revise the submitted plan(s) for the proposed development to further address surrounding neighbor concerns, staff concerns, PZ Commission concerns, as well as be more conducive to the surrounding area. Per the Commission's request, listed below is a summary of changes made by the applicant. In addition, a "redline" document is provided in the attached exhibits to reflect all changes that were made.

CHANGES FROM THE 2/23/2021 PZ MEETING

*Changes listed below are reflected in the "Development Standards-Redline" document

Zoning Exhibits:

- Shifted alignment of Road at Memory Lane to East to align with Saralvo Road
- Shifted entry drive further way from Brookside Lane
- Created Open Space District for the 150' to 250'+ area between entry drive and Brookside Lane to create landscape and buffering area
- Added notes to clarify no road connections from Emory Lakes will be made to Brookside Lane
- Updated TND boundary to only be central portion of project (Was extending toward eastern entry)
- Added a sixth PD District (Open Space). (Originally 5 PD Districts)

PD Development Standards

- Pages 1, 3 & Ex C: Added Open Space District to PD, restricted uses to open space and landscaping
- Page 10: Updated the Acreages and Maximum Single Family Density (Maximum Density for overall development remained the same)
 - Single Family Residential: Increased 1 acre: 2219 to 2220 acres
 - Mixed Use Residential: Decreased 4 acres (due to creating open space buffer district near Brookside): 223.3 to 219.5
 - Mixed Use Neighborhood: Decreased 7 acres (due to creating open space buffer district near Brookside): 94.9 to 87.5
 - General Retail: Increased 3 acres (Shifted alignment of road at Memory Lane to East, to further align with Saralvo Road): 169 to 172
- Page 10: Added table showing the 7 lot types and the minimum/maximum number of each of the lot sizes
 - Min 12% 12,500 s.f. lots
 - Min 28% 10,000 s.f. lots
 - Min 10% 8,400 s.f. lots
 - Max 45% 6,000 s.f. or 7,000 s.f. lots
 - Min 3.5% max 15% of townhomes or 5,000 s.f. lots
- Page 11: Added/Clarified initial phasing of projects including lot mix, larger lots required in initial phases
- Page 11: Added table for minimum home size
- Page 13: Added section describing 4 lot/garage configurations
 - Alley
 - Side Entry
 - "J" Swing
 - Front entry
- Page 14: established rules for each of the garage types.
 - Established minimum alley requirement on cottage (100%) and Estates (25%)
 - "J" Swing and Front not allowed within 150' of main roadways
- Page 20: Updated TND neighborhood standards
 - Added requirement of design standards
 - Alleys required in all of TND
 - Multiple lot sizes required in each neighborhood
 - Cul-de-sacs not allowed
- Page 23: Added additional requirements on Amenity centers
 - Minimum acreage requirement for each site (4 acres) and overall (20 acres)
 - Added pool required at each amenity center
 - Added/clarified the phasing of each amenity center
 - 1st phase (The first amenity center must be completed within 270 days after the 300th residential permit)
 - 2,000th single family lot (The second amenity center must be completed within 270 days after the 2,000th residential permit)

- 4,000th single family lot (The third amenity center must be completed within 270 days after the 4,000th residential permit)
- 6,000th single family lot (The fourth amenity center must be completed within 270 days after the 6,000th residential permit)
- Page 26: Added additional regulations on Neighborhood Parks
 - Established minimum of 22 acres
 - Increased park size to 1 acre minimum
 - Added requirement of 2 neighborhood parks must be at least 5 acres in size
 - Added phasing requirement for the 2 required 5 acres parks
 - 1,000th single family lot
 - 4,000th single family lot
- Page 28 Trails
 - Increased trail requirement to 25 miles including
 - 10 miles of 10 ft. wide trails
 - 5 miles of 8 ft. wide
 - = 10 miles of 6 ft. wide
 - Added 5 miles of natural trails (mulch, dg, etc.)
 - Added separate section committing Developer to install to Regional Trail connection
- Page 32: Buffering
 - Added section defining 3 types of screening
 - Min. 15' buffer with screen wall
 - Min. 40' buffer with screen fence
 - Lots fronting onto slip street or green space
 - Created standards requiring lots to either front onto the main thoroughfares or be setback at least 40' with increased buffering. No lots allowed to back to main roadways
- Page 37: Roadway Design
 - Added language to allow round-a-bouts with city engineer approval
 - Restricted cul-de-sacs to areas outside of TND only when certain situations would require
 - Added language to restrict any street access to Brookside Lane

Development Agreement Architectural Standards

- Added language clarify restriction on Synthetic Stucco and Reinforced Plastic
- Added enhanced masonry standards for corner lots (facing a side street), including example imagery
- Created alternative design standards for 2 new Architectural styles: Mid Center Modern & Modern Farmhouse, included representative imagery
 - Alternative masonry requirements
 - Alternative roof pitch
 - Establish maximum % for these styles (35% overall, 20% max for each style)

- Added front porch requirement including example imagery and types of porches
- Added language and example imagery of enhanced garage doors

Emory Lakes Land Use Types:

Per the proposed Development Standards provided by the applicant, the zoning districts below depict what zoning districts will be included within the Planned Development.

Single Family Residential District (SFR)

This district provides a mixture of single family residential uses nestled along the open spaces and natural amenities the project offers. The district provides a variety of lot sizes to accommodate different home styles, buyer demographics and home sizes. The residential lots are designed into smaller neighborhoods with neighborhood parks and open spaces extending into and between neighborhoods. The district has 4 distinct sub districts, which are:

- Estate Lots: This sub district includes single-family detached lots 10,000 sf and 12,500 s.f. and larger.
- Township Lots: This sub district includes detached single-family lots between 8,400 sf and 10,000 sf
- Village lots: This sub district includes detached single-family lots between 6,000 sf and 8,400 sf
- Cottage Lots: This sub district includes detached single-family lots less than 6,000 square feet in size including Patio Homes & Zero Lot Line lots and single-family attached buildings (Townhomes).

Lot Types:

The development of Single Family lots includes the following 7 lot sizes:

	Estate Lots		Township Lots	Village Lot	S	Cottage Lots		
Lot Area (min.)	12,500 sf	10,000 sf	8,400 sf	7,000 sf	6,000 sf	5,000 sf	2,000 sf	
Lot Width (min.)	90 ft.	80 ft.	70 ft.	60 ft.	50 ft.	50 ft.	20 ft.	
Lot Depth (min.)	120 ft.	120 ft.	115 ft.	115 ft.	115 ft.	100 ft.	100 ft.	
Min. Living Area	2,200 sf	2,200 sf	2,000 sf	1,800 sf	1,600 sf	1,250 sf	1,200 sf	

Single Family Lot Mix for entire project

Emory Lakes may not exceed a total of 7,029 single family lots at build out. The following lot mix requirements are for the entire single family lots within Emory lakes.

- At least 12% (844 lots) of the total lots must be Estate lots 12,500 s.f. or larger.
- At least 28% (1,969 lots) of the total lots must be Estate lots 10,000 s.f. or larger.
- At least 10% (703 lots) of the total lots must be Township lots 8,400 s.f. or larger.
- No more than 45% (3,163 lots) of the total lots may be Village lots, between 6,000 s.f. and 8,400 s.f.
- No more than 15% (1,054 lots) of the lots may be Cottage lots but a minimum of 3.5% (247 lots) of the total lots must be Cottage lots.

Multi-family Residential District (MFR)

Traditional apartment- and condominium-type units in attached living complexes characterize this district. These developments may take a variety of forms, including traditional garden style apartments to courtyard apartments as well as brownstone style apartments.

The applicant proposes a phasing plan to allow the first multifamily project be permitted following the permitting of at least seven hundred fifty (750) SFR District lots. At that time a maximum of two hundred fifty (250) multi-family units may be permitted.

For future phases, the applicant is proposing the additional multi-family units may be permitted as long as the following minimum SFR District lots have been permitted.

Total Permitted SFR District Lots Total to Maximum total multi-family units allowed to be permitted: 1,500 SFR lots to 500 MF units 2,250 SFR lots to 800 MF units 3,000 SFR lots to 1,100 MF units 3,750 SFR lots to 1,400 MF units 4,000 SFR lots to 1,700 MF units 5,000 SFR lots to all remaining multi-family units

*It is suggested that additional consideration be given to the total number of multifamily units and points at which these may be constructed.

Mixed Use Residential (MU-R)

The district includes a mixture of residential and non-residential uses. A maximum 80 percent of the acreage or square footage of any proposed development should be residential, with a minimum 20 percent (minimum) of the acreage or square footage non-residential. Acreage would apply in a horizontal mixed-use development, while square footage would apply in a vertical development. Both vertical and horizontal mixed use could be provided together. Residential uses may be single family (Village or Cottage Lots, or multi-family uses).

Mixed Use Non-residential (MU-N)

Similar to Mixed-Use Residential district, land designated as MU-N is intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Non-residential has a greater percentage of non-residential components than residential. Specifically, a minimum 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with a maximum 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Non-residential Mixed Use. Residential uses may be single family or multi-family uses.

Commercial/General Retail District (GR)

This district is based on the Waxahachie GR zoning district. The locations of the GR districts are at the center of the project near the Village Center node and also generally located along the project perimeter at project entries.

Open Space District (OS)

This district is based on the Waxahachie FD zoning district. The areas designated as an Open Space District are intended to be used as open spaces including landscaping, screening and trails only and serves as a buffer to the adjacent properties.

Overlay Areas:

Within the six Planned Development zoning district areas, the following overlay areas exist. These overlay districts create certain restrictions or development variations to exist within the Master Plan. Overlay Areas within the development include:

Floodplain

Floodplain Overlays are generally areas of land subject to inundation by a 100-year frequency flood as determined using standard engineering practices and generally as shown on the flood insurance Rate Map (FIRM) of the City of Waxahachie. These locations are not finalized and the actual floodplain limits, if any, will be finalized at the time of development. These areas may be increased or decreased in size based on the results of FEMA approved studies. Development within the Floodplain Overlay is subject to Appendix B (Flood Damage Prevention) of the City of Waxahachie Code of Ordinances as amended.

Semi-Public

Within the Master Plan, uses such as schools and civic spaces (libraries, police, fire, etc.) will exist. The applicant has indicated five sites, ranging from 12-15 acres will be dedicated to WISD for elementary school sites. An additional 25 acres is available for sale to WISD for the future location of a Junior High. The applicant has also provided 10 acres to the City as a Police or Fire Station, or other agreeable civic uses as needed by the City. The exact location for these uses will depend on the phasing and the timing of development. The land area is being set aside but the exact location will be determined at the time of platting.

- 5 elementary school sites 60-75 acres
- 1 junior high site 25 acres available to purchase if needed
- 10 acres for Civic use

Town Center

The Town Center Overlay Area is delineated as an area that has increased development requirements and can be developed as a mixed-use development. Land uses are intended to be residential multifamily and non-residential commercial uses. Additional, mixed use buildings with ground floor retail and commercial uses with residential units located above are allowed. The development will be a blend of residential and commercial uses that serves as a central destination and hub of activity providing live and work opportunities. Buildings may be oriented closer to the streets to create a stronger pedestrian friendly streetscape.

Traditional Neighborhood Development

This area includes a mixture of residential and non-residential uses including within the Mixed-Use Residential District, Mixed Use Nonresidential District. The location is within the central part of the community and serves as the main node of destination and activity. It includes a variety of residential dwelling interspersed with small scale commercial establishments and public spaces.

Proposed Amenities

Minimum Open Space

o 400 acres minimum for dedicated open space

Acreage comprised of usable area that is at least 20 feet wide (such as larger landscape/trail buffer areas or linear greenbelt corridors) or any size area so long as it incorporates any amenity elements. Open spaces may be passive areas such as floodplain, utility easements, landscape buffers or visual setbacks but can also be active spaces such as Community Amenity Centers, Neighborhood Parks, or Public Parks. No more than 63.3 acres of areas within the 100 year floodplain may count towards the overall open space requirement at buildout.

Minimum Open Space Phasing:

- The final plat that includes the 1,000th single family lot must indicate that at time of approval at least 60 acres of open space will be platted.
- The final plat that includes the 3,000th single family lot must indicate that at time of approval at least 180 acres of open space will be platted.
- The final plat that includes the 5,000th single family lot must indicate that at time of approval at least 300 acres of open space will be platted.

<u>Community Amenity Centers</u>

At least four (4) separate community amenity centers, each at least 4.0 acres in size, will be spaced throughout Emory Lakes. All amenity centers will be HOA maintained

Required Elements

Each community amenity center must include the following amenities and/or elements:

a) Pool at least 2,500 s.f. of water surface area)

b) Bathrooms

c) Landscaping

d) Sodded grass

e) Irrigation for all plant material

f) Walkways

g) Seating (individual seats, benches and/or gliders)

h) Bike Racks

i) Water Fountain for humans and pets

j) Pet Waste Station

k) Trash Receptacle(s)

l) Wi-Fi

m) At least one (1) ADA Accessible amenity

Neighborhood Parks and Parkland

A minimum of 13 neighborhood parks totaling at least 22 acres in size must be provided in Emory Lakes so that each single family residence must be located within a 0.5 miles radius of a neighborhood park. At least 11 of the parks must be at least 1.0 acre in size and at least 2 parks must each be at least 5.0 acres in size.

The neighborhood parks and community amenity centers of the PD are proposed to count towards the total park land dedication requirement, regardless if the neighborhood parks are Home Owners Association (HOA) or city owned and maintained.

The project wide Park Land dedication will be tracked and summarized at each Residential Initial Plat and/or detailed site plan submittal. A summary chart of park land requirements for any previous submittals and the park land requirement for the current submittal will be summarized along with any previous or current park land dedications.

Any park land dedication area larger than what is required for Residential Initial Plat and/or detailed site plan submittal will be carried over to future detailed site plans.

Public Park Land must be deed restricted as a park facility. It must be developed to City design standards.

<u>Roadside & Offroad Trails:</u>

a. A minimum of 10 miles of sidewalk/trails at least 10 ft. wide and made of concrete.

b. A minimum of 5 miles of sidewalk/trails at least 8 ft. wide and made of concrete

c. A minimum of 10 miles of sidewalk/trails at least 6 ft. wide and made of concrete

d. A minimum of 5 miles of sidewalk/trails at least 5 ft. wide and made of natural material (mulch, crushed granite, dirt)

Enhanced Architectural Features
 -Entry features, lakes, open spaces designed as destinations and usable areas

<u>Home Owner's Association</u> -Covers maintenance of common areas, parks, open spaces, etc.

-Provides programming and community events for the residents and businesses

Conformance with the Comprehensive Plan:

The proposed development is consistent with the following goals and objectives in the 2016 Comprehensive Plan Addendum:

- <u>Growth Strategies Goal 2</u>: Encourage a balance of land uses to serve the needs
 of citizens and to ensure a diverse economic base
- <u>Growth Strategies Goal 8:</u> Promote community identity through landscaping
- <u>Growth Strategies Goal 9:</u> Establish gateway and entryways into neighborhoods to promote neighborhood identity
- <u>Growth Strategies Goal 12:</u> Promote growth of the community where infrastructure exists.
- Growth Strategies Goal 15: Identify areas for strategic annexations to occur.

STAFF CONCERNS:

Open Space Maintenance

Staff has concerns with the insufficient details surrounding the park and open space maintenance. Staff suggests that a minimum park size is established that the City of Waxahachie would maintain (minimum 5 acres. The City of Waxahachie will only be responsible to maintain property that is dedicated to the City.

PUBLIC NOTIFICATIONS

To comply with State law contained in Local Government Code Chapter 211 and the City's public hearing notice requirements, <u>118</u> notices were mailed to property owners within 200 feet of the request. In addition, a notice was published in the Waxahachie Sun and a sign was visibly posted at the property.

PROPERTY OWNER NOTIFICATION RESPONSES

Staff received five (5) letters of opposition for the proposed development.

RECOMMENDATION

Based on the details provided in this Staff Report and the present status of the documents subject to the request, the Planning and Zoning Department recommends:

🛛 Denial

*If the Planning and Zoning Commission elects to approve the applicant's request, staff suggests that the following comments be met:

- 1. A mutually agreed upon Development Agreement will be required for the property.
- 2. Confirmation of connection to I-35 and the Brookside bridge through either an offsite access easement(s) or acquisition of property must be provided.
- 3. Staff suggests that the phasing plan be modified for multifamily (see "Total Permitted" section (pg. 8)) to the following below:

Applicant Request

Total Permitted

SFR District Lots Total to Maximum total multi-family units allowed to be permitted: 1,500 SFR lots to 500 MF units

- 2.250 SFR lots to 800 MF units
- 3,000 SFR lots to 1,100 MF units
- 3,750 SFR lots to 1,400 MF units
- 4,000 SFR lots to 1,700 MF units
- 5,000 SFR lots to all remaining multi-family units

<u>Staff Suggestion (see changes from "Applicant Request" in bold)</u> Total Permitted
SFR District Lots Total to Maximum total multi-family units allowed to be permitted:
1,500 SFR lots to 500 MF units
2,250 SFR lots to 750 MF units
3,000 SFR lots to 1,000 MF units
3,750 SFR lots to 1,250 MF units
4,000 SFR lots to 1,500 MF units
*The remaining multi-family units can be constructed once all SFR lots (5,000) are constructed.
4. Staff suggests that the Development Standards are revised to show a maximum
percentage of front facing garages be provided for the development.
5. Staff suggests that the Development Standards are revised to show a minimum
percentage of alleys be provided for the development.
6. At least one amenity center shall have a meeting room.
7. Staff suggests that all park and open space improvements funded be privately
maintained, unless the land is dedicated and accepted by the City, or unless the City
enters into a mutually agreed upon maintenance agreement with the developer.
a. The City of Waxahachie will not accept property dedication less than 5
acres.
8. The applicant, WISD, and city staff must mutually agree on the proposed location
and required acreage for future schools within the development.
and required acreage for future schools within the development.
Approval, as presented.
Approval, per the following comments:

ATTACHED EXHIBITS

- 1. Property Owner Notification Responses
- 2. Development Standards (REDLINE)
- 3. Exterior Construction Standards (REDLINE)
- 4. Zoning District (Concept) Exhibit
- 5. Master Trails and Open Space Exhibit
- 6. Screening Plan Exhibit
- 7. Thoroughfare Plan Exhibit
- 8. Street Sections Exhibit
- 9. Phasing Plan Exhibit
- 10. Master Signage Plan Exhibit
- 11. Boundary (Legal Description) Exhibit
- 12. Playground Exhibit
- 13. Zoning District Exhibit

APPLICANT REQUIREMENTS

- 1. If approved by City Council, within 30 days the applicant shall provide the Planning Department one revised electronic plan set that incorporates all comments.
- 2. Once the revised plans are provided, staff will verify all outstanding comments were satisfied.
 - a. If comments were not satisfied, then applicant will be notified to make corrections.
 - b. If all comments satisfied, applicant shall provide a set of drawings that incorporate all comments.

STAFF CONTACT INFORMATION

Prepared by: Colby Collins Senior Planner ccollins@waxahachie.com Reviewed by: Shon Brooks, AICP Director of Planning sbrooks@waxahachie.com

PON RESPONSES_ZDC-7-2021

iyR)	Denser's Horse	Arrange	Lagal Description	Owner's Address 731 BROADHEAD RD	Dunner's City C WAXAHACHE	TX	Owner's 23 75185	P Physical Address INCRWAY 287 WAXAHACHE 1X 75185
65	BROOME REX & & CONSTANCE M	70 8876	101 E BELLOW 70 MI75 ACRES LUT 3 CEDAR ESTATES-REV 3955 AC	5025 E F M 875	WAXAHACHE	TR.	75167	6025 € F M 875 WAXAHACHE TX 75187
97 48	BRIDDKIS BEVERLY GRAHAM EULA II BLLY	3 956	1 GREEN MEADOWS 5 14 ACRES	101 MEADOW CREST RD	WAXAHACHE	TX.	75167	101 MEADOW CREST RD WAXAHACHE 1
20	BARNES VERNON D & BHARION	0.517	LOT 4 BLK 1 BROOKADE 517 AC	607 BROOKSIDE RD	WAXAHACHIE	TX	75107	607 BROOKSIDE RD WAXAHACHE TX 7
20	FARHOLM VIRGINIA & NOEL	0 517	LOT 1 BLK 1 BROCKBDE 517 AC	601 BROOKSIDE RD	WAXAHACHE	EX.	75187 75187	601 BROOKSIDE RD WAXAMACHE TX 7 603 BROOKSIDE RD WAXAMACHE TX 7
29	BICHAM MAURICE & GLEHMA	0.51F	LOT 2 BLK 1 BROOKSDE 517 AC	603 BROCKBIDE RD 6543 E FM 875	WAJAHACHE	TX TX	76105	6643 FLI 675 WAXAHACHE TX 75187
52 54	GUERRA PEDRO WALTON TEXAS UP	20.37	40 JBARKER 20.370 ACRES 40 JBARKER 145 JE PRINCE 351 JEIEER 117 529 ACRES CID WALTON INTERNATIONAL GROUP	5420 LYNDON B JOHNSON 6790	DALLAS	TX	75240	6643 FLI 675 WAXAHACHE TX 75167 611 GROOKSIDE RD WAXAHACHE TX 7
00 12	NNOT DAWN	10 20 1	JUS J J DAVEROM 10 JUI ACRES	321 LONE ELM RD	WAXAHACHE	TR	75107	321 LONE ELM RD WAXAHACHE TX 75
75	OWERS DAVE & CAROL	202	40 JBARKER 7.07 ACRES	300 LONE ELM RD	WAXAHACHE	57. 1 x	75167	368 LONE ELM RD WAXAHACHE TX 75
16	FRAZER JEFFREY L& JEANETTE M	204 442	40 J BARKER, 1132 B WILTSHIRE 204 442 ACRES	PO BOX 657 5212 € FM 675	WAXAHACHE	TT I	75188 78085	1770 FM 1446 WAXAHACHE TX 75167 5212 E FM 875 MIDLOTHIAN TX 70055
10	DOBBS CHARLES E & REBECCA L KNICHT PATRICIA L	173	40 JBARKER 032 ACRES 40 ROUTE JBARKER 173 ACRES	6205 E FM 875	MOLOTHAN	TX TX	78085	5205 E FM 875 MICLOTHAN TX 70065
	UNARUT PATRICIAL	13 168	AD LIDADEED 13 100 ACRES	1015 FERRIS AVE	WAXAHACHE	TX TX	75105	5236 E F M 875 WAXAHACHE TX 75167
34	WALTON TEXABLP	1035 889	40 J BARKER 101 E BELLOW: 143 E HI BELCHER 304 J C READ 1038 8894 ACRES C/D WALTON INTERNATIONAL GROUP	5420 LYNCION & JOHNSON #790	DALLAS	TX	76240	FM 675 WAXAHACHE TX 75197
37	HALBERT BILLY J & CAROLYN L FAMILY REVOCABLE TRUST		40 J BARKER 2 470 ACRES	6471 E FM 875 M23 E FM 875	WAXAHACHE	TX TX	75167	6671 E FM 875 WAXAHACHE TX 75187 6623 E FM 875 WAXAHACHE TX 75187
	HARRIS MARILYN JO	1 25	40 LONE JBARKER ELM ROADI 25 ACRES 40 JBARKER 10 00 ACRES	6471 E FM 075	WATAHACHE	TX	75167	FM 675 WAXAHACHE TX 75167
68 51	HALBERT BILLY J & CAROLYN L FAMILY REVOCABLE TRUST		40 JBARKER, 100 JBOYD 141 6373 ACRES	2021 POSTAL	DALLAS	TX TX TX TX TX TX	75212	6711 E FM 875 WAXAHACHE TX 75167
H6 -	RUIZ PAUL	0.09	40 J BARKER 0 86 ACRES	6621 E FM 675	WAXAHACHE	12	75167	5621 E FM 675 WAXAHACHE TX 75167 5623 E FM 675 WAXAHACHE TX 75167
69	INC HENRY JACQUELINE BALL	1	40 JBARKER I ACRES 40 JBARKER 9 ACRES	PO BOX 1047 801 GRAND TETON	WAXAHACHE CEDARHILL	TH	75 t08 75 t04	6080 FM 675 WAXAHACHE TX 75167
90 94	KELESIA VADUERA KELLEY WILLIAM F	8 10.31	AU JBARGEN WARES AU JBARGER ISI ACRES	209 KATY LAKE DR	WAXAHACHE	tx.	75108	INTERSTATE 35 WAXAHACHIE TX 751
16	BAITH ELMER GENE & JUDY ANN		109 A88 W J BOYD E HORTON 37 4328 ACRES	1350 MECHANINUM	WAXAHACHIE	1x 1x	75167	6050 FM 675 WAXAHACHE TX 75187
1Å	BOEHLER PHILLIP	6	120 E BALLARD & ACRES	1479 LONE ELM RD	WAXAHACHE	TX.	76167	1479 LONE ELM RD WAXAHACHE TX 7 1486 LONE ELM RD WAXAHACHE TX 7
11	MURRAY REVOCABLE LIVING TRUST	6	120 E BALLARD: 6 ACRES JOSEPH G & CYNTHA MURRAY	1465 LOHE ELM RD 612 CINGERBREAD LN	WAXAHACHIE	TX TX	75167	2040 LONE ELLI RD WAXAHACHE TX 7
	WOOD RICHARD E MD	102 09	129 JW BROCK & 854 JC PAXTON 102 09 ACRES 143 E H BELCHER & 120 E BALLARD 29 ACRES	1537 LONE ELM RD	WAXAHACHE	TX	75167	1537 LONE FEM RD WAXAHACHE TX 7
	DURRETT RANDY HUFFMAN RICHARD D.A.JAME H	13 193	139 PTIER ENBLICHER 3 302 J J DAVIDSON 13 193 ACRES	1047 LONE ELM RD	WAXAHACHE	FX TX	76167	1047 LONE ELM RD WAXAHACHE TX 7
	PITIS KADIERINE ANN	119.3	139 E H BELCHER 119 3 ACRES	111 MUSTANG CRÉEK DR	WATAHACHE	TX TX TX TX TX TX TX TX	75105	923 LONE ELM RD WAXAHACHE TX 75
ы –	POHLMAN GARY & CATHERINE LE	23 899	139 PT TR 2_E H BELCHER & 302 TR1 & TR2 J J DAVIDSON 23 899 ACRES THE GARY & CATHERINE POHLMAN REVOCABLE [MING TRUST	1046 LONE ELM RD	WAXAHACHE	1X	75187	1045 LONE ELM RD WAXAMACHE TX 7 FM 1448 WAXAMACHE TX 75167
4	WALKER DON & MARGARET	128 728	273 J DRINKARD 128 728 ACHES	2215 FM 1440 PG 80X 180	WAXAHACHE	12	75107 75109	LONE ELM RD WAXAHACHE TX 75167
8	ELLIS COUNTY TRUSTEE MOORE RONALD	5477	302 J J DAVIDBON & 139 E H BELCHER 6 477 ACRE8 302 139 J J DAVIDBON E H BELCHER 6 4 ACRE6	979 LONE ELM RD	WATAHACHE	tx	75100	979 LONE ELM RO WAXAHACHE TX 75
	BAFORD DAVID R	6.14	302 J J DAVIDSON 4 14 ACRES	1005 LOHE ELM RD	WAXAHACHE	TX	75167	1005 LONE ELM RD WAXAHACHE TX 7
7	TAYLOR BRANDY & MATTHEW	32	302 139 J J DAVIDSON E H BELCHERG 2 ACRES	961 LONE ELM RD	WATAHACHE	tx T	75107	961 LONE ELLI RO WAXAHACHE TX 75
0	WALTON TEXABLP	151032	302 J J DAVIDSON 151 KIZ ACRES C/D WALTON INTERNATIONAL GROUP	5420 LYNDON B JOHNSON F WY #790 209 KATY LAKE DR	DALLAS WAXAMACHE	TX TX	75240 25108	439 LONE ELM RD WAXAHACHE TX 75 INTERBTATE 35 WAXAHACHE TX 751
	KELLEY WILLIAM F RIDDLE CURTIS RAY & ALVIN RIDDLE	0.21 55.89	351 JF#ER.8.21 ACRE8 361 JF#ER.56.66 AGRE8	SD2 HARRIS RD	ITALY	TX	2 3 100 P005 1	COMPTON OR WAXAHACHIE TX 75187
0	RIDDLE CURTIS RAY & ALVIN RIDDLE RIDDLE CURTIS RAY & ALVIN RIDDLE	05.19	301 JPFER 05 19 ACRES	902 HARRIS FID	ITALY.	TA	78851	B INTERSTATE 35 WAXAHACHE TX 75
3	ABAI SHELISSA	10	361 J FIFER 10.000 ACRES	M& COMPTON LN	WAXAHACHE	TX	75 187	565 COMPTON DR WAXAHACHE TX 75
5	STANSELL KRISTOPHER LA CHEA L	3	40 J BARKER 3 ACREB	380 LONE ELM RD 5420 LYNDON B JOHNSON #790	WAXAHACHE	TX TX	75187 75240	380 LONE ELM RD WAXAHACHE TX 75 FM 1448 WAXAHACHE TX 75187
0	WALTON TEXAS LP MOUSER WILLIAM E JR & BARBARA R	141612	218 M MYERS 143512 ACRES CAO WALTON INTERNATIONAL GROUP 845 J E PRINCE 0 432 ACRES	415 BROOKBOE RD	WAXAHACHE	TX	25187	415 BROOKBIDE RO WAXA ACHE TX 1
9	MOUSER WILLIAM E JR & BARBARA R ALLRED SHRILEY A	0 432	A45 J E PRINCE D 52 ACRES	503 BROOKBIDE RD	WAXAHACHIE	1X	75167	503 BROOKBIDE RD WAXAHACHIE TX 1
8	WATKINS MONICA DAVIS	0.43	INS JE PRINCE 9 43 ACRES	4305 BAN PEDRO DT	MIDLAND	1X	10707	505 BROOKSIDE RD WAXAHACHE TX 1
8	ALCALA JOSE JR & GENEVA	0.604	145 J E PRINCE 0 504 ACRES	411 BROOKBOE RD 413 BROOKBOE RD	WAXAHACHIE	tx Tx	75167	411 BROOKSIDE RO WAXAHACHE TX 7 413 BROOKSIDE RO WAXAHACHE TX 7
	ANDERSON MARTHA & & MICHAEL W	05	645 JE PRINCE 6 5 ACRES	13 BROOKSIDE RO	WATAHACHE	TX IA	75187	501 BROOKBOE RO WAXAHACHE TX
1	RYAN KATY R & BOBBY HDPGOOD MC ADAMS KATHY NADINE	D 43 D 61	845 J E PRINCE 0 43 ACRES B03 J C READ 40 J BARKER 0 61 ACRE5	5323 E FM 975	WAXANACHE	12	75187	5323 E FM 875 WAXAHACHE TX 75187
a i	CHURCHWELL MARGARET JUE	0.63	903 J C READ 0 83 ACRES RODHEY D SHAW ETAL	1041 BARALVO RD	MIDLO THIAN	TX	78085	1041 SARALVO RO MICLOTHIAN TX 700
10	TOLE JUNIT D	0 33	903 J C READ 0 33 ACRES	5431 E FM 875	WAXAHACHE	TX	75187	5431 E FMER75 WAXAMACHE TX 75187
2	MONTGOMERY GEORGE A	1 0442	SCO J C READ 10442 ACRE8	979 SARALVO RD	MOLO THAN	TX TX	70085	979 SARALVO PO MICLOTHAN TX 780 1031 SARALVO PO MICLOTHAN TX 780
	RDGER'S SARAH R	0 752	903 J C READ 0 752 ACRES	1031 BARALVO RO 1423 E FM 875	MICLO HIAN WAXAHACHIE	1X 7X	70005	5423 E FM 875 WAXAMACHE TX 75167
6 8	DELK MONROE J JR HARDIN LETHA LIE	0 74 107.06	903 J C READ 0 74 ACRE8 903 J C READ, 46 J BAKER, 270 W CORNELIUS, 1002 RR TUCKER 107 8 ACRES CHARLO I TE PREMOUT?	2907 PRESCOTT LN	BEADOYULE	12	75159	FM 876 WAXAHACHIE TX 75167
17	HARDIN LETHALLE	Z 45	STO AC READ 2 AS ACRES CHARLOTTE FRENCH I	2907 PRESCOTT LN	SEAGOVILLE	TX	75150	5315 FM 875 WAXAHACHIE TX 75187
	WALTON TEXAS LP	306 282	1132 B WILTSHIRE & 40 J BARKER 396 262 ACRES C/O WALTON INTERNATE CROUP	\$420 LYNDON BUCHNSON 2750	DALLAS	TX	75240	LONE ELM RD WAXA WACHE TX 75167
15	LIMITED PRESBYTERIAN HOMES	171 19	101 E BELLOW, 627 A POLK 171 19 ACRES	5020 W WILLIAM CANNON DR BLDG 3 STE 100 5020 W WILLIAM CANNON DR BLDG 3 STE 100	AUSTIN	TX TX	78749 78749	HIGHWAY 207 WAXAHACHE TX 7518 BROOKSIDE RD WAXAHACHE TX 7518
7	UNITED PRESBYTERIAN HOMES	24.364	40 J BARKER 24 304 ACRES 845 J E PRINCE BRIOKSIDE RD140 ACRES	5920 W WILLIAM CANNON DR BLDG 3 STE 100	AUSTR	TX .	79740	300 BROOKSIDE RD WAXAHACHIE TX 7
12	LINA MIREYA	5 6478	120 E BALARD 6 M/NACRES	1411 LONE ELM	WAXAHACHIE	TX	75167	1411 LONE ELLI RO WAXAHACHE TX 7
1	BOWMAN JERRY A C	5 064	143 E HOELCHER & DHI ACRES	10 VE MUS LARUE	VENUS	TX .	78084	1577 LONE ELM RD WAXAHACHE TX 7
0	SHIELDS ROBERT W	4 985	120 E BALLARD (200 ACRES	P0 803 384	WANAHACHE	TX TX	75168 75167	1449 LONE ELLI RO WAXAHACHE TX 7 1903 LONE ELLI RO WAXAHACHE TX 7
5	MORRIS ALLEH RECWIN OLIVER & & TARRA W	6.41	302 139 J DAVIDION E H BELCHER 41 ACRES	5430 E FM 875 5003 E FM 875	WAXAHACHE	TX TX	75167	SOBSE FM 875 WAXAGACHE TX 75107
2	HENDON WILLIAM M.4. GLENDA D	6 4449	LOT PT LOCAR ESTATES REV 8 4400 AC	5055 E F M # P5	WATAHACHE	TX	75167	5856 E F M 875 MIDLOTHIAN TX 78085
ŝ	MYERS LARRY @ & REBECCA J	4 645	J CEDAR ESTATES 4845 ACRES	5ect) E F M 075	WAXAHACHE	¥XC .	75167	5003 FM 875 WAXAHACHIE TX 75107
5	FRANZESE ANOREA & PIE (190)	1.094	LOT AR CEDAR 681ATES-REV 1 004 AC	6033 FM 075	WAKAHACHE	TX	75167	5633 FM 875 WAXAHACHE TX 75187
÷	FIEGEL DRILLER L & BONDI L	30 526	LOT SHR CEDAR ESTATES REV.108 40 W JODYD JBARKER 30 526 AC	5956 F M #75	MAKAHACHE	TX TX	25167	5056 FM 875 WAXAHACHE TX /5187 LITTER IN WAXAHACHE TX 75185
5	RANKIN ELIZABETH ANN	126781	101 E BELLOW 128761 ACRES 8 CEDAR ESTATES 1 ACRES	PO BOX 711 5089 E FM 875	WAJUAHACHE	TH. TH	70005	SOOD FM 875 WAXAHACHE TX 75105
5	REOWN OLIVER L & TARRA W HORMER REVOCABLE LIVING TRUST	a 103	2 MORRESTATES LICKED CATEL ICS ACRES RONALD E & NORMA JHORNER	5466 E F M 675	WAJAHACHE	TX:	75167	5465 E FM 875 WAXAHACHE TX 75167
5	CARMICHAEL MATHEW D	0 713	LOT 2 GARDEN VIEW ADDN 713 AC	6227 FM 875	WAXAHACHE	TH.	76167	6227 FM 876 WAXAHACHE TX 75187
0	MORRIS ALLEN & KAREN	1 523	1 MORRIS EBIATES 7 523 ACRES	5430 E F M 675	WATAHACHE	TX	75167	5430 E FM 875 WAXAHACHE TX 75167
3	CRAIG RANEY & LISA	0.21	803 J C READ 0.21 ACRES 49 J BARKEN 1 125 ACRES	6429 E FM 875 6236 E FM 875 A	WAXAHACHE	TX TX	75167 75167	6429 FM 875 WAXAHACHE TX 75187 6236A E FM 675 WAXAHACHE TX 7518
2	FABBY JAMES & PATRICIA ACCRUFAME Y EMITED PARTNERSHIP ETD	1.125	40 JBARKER 194 17 AC	716FERRA AVE	WATAHACHE	TX	75105	FM 1446 WAXAHACHE 1X 75167
5	FABBY THOMAS & ASHLEY	1194.57	40 JBARRER 1119 ACRES	1020 MEMORY LN	WAXAHACHE	TX	75167	6236 E FM 875 WAXAHACHIE TX 75167
F	ARMSTRONG ROBERT & JANET	1 34	302 J J DAVIDBON 1.34 ACRE 8	441 LONE ELM RD	WAXAHACHIE	12	75167	441 LONE ELLI RO WAXAHACHE TX 75
	SCHOOLFIELD HRAM C	38 603	714 M MYERS 8 273 J DRIMARD DE RELACIES	1054 FM 1440 5204 E FM 075	WAXAHACHE	TX TX	75187	FM 1440 WAXAHACHE TX 75167 FM 675 WAXAHACHE TX 75167
	RIDGWAY NELBON C BCHOOLFIELD HIRAM C & HALEY E BCHOOLFIELD	13 885	40 J BARKER 13 885 ACRES 273 J DRIMARD 4 ACRES	1064 F M 1440	WAJAHACHE	TX	75187	FM 1440 WAXAMACHE 1X 75107
9	BONDOLFIELD HIRANIC & HALETE ICHOOLFIELD STANSELL KRISTOPFER LA CIEAL	4 841	1 A BTANSELLS ADDN 4 041 ACRES	300 LONE ELM RD	WAXAHACHIE	TX	75107	380 LONE ELM RD WARAHACHIE TX 75
3 '	WALTON TEXAS LP	100	1132 (I WILTINGRE 100 ACRES CIC WALTON INTERNATIL CHOUP	5420 LYNDON B JOHNSON \$790	DMLLAS.	TX.	25240	FM 1448 WAXAMACHE TX 75187
	NELLEY WILLIAM F	16.80	40 J BARRER 16 86 AC	219 KATY LAKE DR	WATAHACHE	TX	75100 78154	BROOKBIDE RD WAXAHACHE TX 7510 1495 LONE ELM RD WAXAHACHE TX 7
	ADAMS ROBIN CALABRETTO CURTIS D.A.CHRISTINA L	10.058	120 PT TR 2 4 3A E BALLARD 12308332 20 ACRES 40 J BARKER 10.005 ACRES	2493 MOCINE ELM 14347 200TH AVE NW	SCHERT2 ELK RIVER	TX MN	28154 66330	LONE ELM RD WAXAVACHE TX 75167
	CALABRETTO CURTIS DIA CHRISTINA L MARTINE Z JORE F. & MARIA D	10.059	40 J BARKER 10 000 ACRES 40 J BARKER 10 000 ACRES	820 WEST 71H 81	DALLAS	TX	75208	LONE ELM RD WAXAHACHE TX 75167
i -	WOOD ANDREW # & PORTIA R	30	129 JW BROCK & 854 JC PARTON 30 ACRES	2102 LONE ELM RD	WAXAHACHE	TX	7518F	2182 LONE ELM RO WAXAVACHE TX 7
	GOD'S HOUSE IN LONE ELM	22 481	40 J BARKER 22 461 ACRES	4537 E FM 875	NICLOTHAN	TA	70005	150 LONE ELM RD WARAHACHIE TX 75
0 1	HOBBS SHARON	8 02 205 30	302 J JDAVIDION P1 TR 8-A. 8 82 ACRES 361 J FIFER 205 30 ACRES C/O CARELL V HAY	121 SE CR 3104 PO BOX 605	CORSICANA WAXAHACHE	tx TX	75109 75185	951 LONE ELM RD WAKAHACHE TX 75 FM 1446 WAXAHACHE TX 75187
2	NAY TRUST B LINDSTROM JAY & BTEPHANE	265.36	351 JEBER 205 30 ACRES CAI DARELL Y MAY 302 J JDAVIDBON 10 306 ACRES	331 LONE ELM RD	WAXAHACHE	TX TX	75162	331 LONE ELM RD WAILAHACHE TX 75
5	LINUSTRUM AAT & DIEFYMME. CONERJEFFERY & & MARCIL	11 168	302 J J DAVIDSON 11 ISS ACRES	201 LONE ELM	WAXAHACHE	1 x	75107	281 LONE ELM RD WAXAHACHE TX 75
i -	WALTON TEXAS LP	162 727	40 J BARKER, 143 E H BELCHER 204 J C READ 182,727 ACRES C/D WALTON INTERNATI, GROUP	5420 LYNDON & JOHNSON #790	DALLAS	110	75240	FM 875 WAXAHACHE TX 75187
8	WALTON TEXAB LP	880 4494	40 J BARKER 101 E BELLOW 143 E H BELCHER 004 J C READ 000 4494 ACRES C/O WALTON INTERNATIONAL GROUP	5420 LYNDON B JOHNSON 8790	DALLAS	DX EX	25240	FM 875 WAXAHACHE TX PS187 FM 876 WAXAHACHE TX 75187
2	TEXAS DEPARTMENT OF TRANSPORTATION TEXAS DEPARTMENT OF TRANSPORTATION	0 5404	488 E HORTON 109 W J BOYD 6404 ACRES 40 J BARKER, 106 J BOYD . 4887 ACRES	125 E 117H ST 125 E 117H ST	AUSTIN	DX DX	78701	EFM 875 WAXAHACHE TX 75167
	TEXAS DEPARTMENT OF TRANSPORTATION TEXAS DEPARTMENT OF TRANSPORTATION		AD JEWOLFK, IDE JEDYD - AMFACKUS LDI PI 1 CEDAR ESIAIES-REV U 1731 AC	125 E 117H ST	AUSTIN	TX .	78701	E FM 875 MIDLOTHAN TX 70005
8	TEXAS DEPARTMENT OF TRANSPORTATION	0.5508	40 J BARKER 5508 ACRES	125 E 1104 81	AUSTIN	TX .	78701	FM 875 WAXAHACHE TX 75187
P .	TEXAS DEPARTMENT OF TRANSPORTATION	0 6878	40 J BARKER 5070 ACRES	125 E 110+61	AUSTIN	EX.	78701	FM 875 WARAHACHE TX 75187
8	TEXAS DEPARTMENT OF TRANSPORTATION	0 1455	101 E BELLOW 1455 ACRES	125 E 1174 BT	AUSTIN	TX TX	78701	HIGHWAY 207 WAXAHACHE TX 75185 5020 E FM 875 WAXAHACHE TX 75187
1	RODEN COY JHI & HEATHER R	10.01	40 JEARNER 1001 ACRES	5020 EAST FM 075 PO 803 051	WATAHACHE	TX TX	75167	5020 E FM 825 WAXAHACHE TX 75187 1820 LONE ELM RD WAXAHACHE TX 7
0	elmwood homes 110 Keith Bradley & Jemmfer	1 002	LOT 3 BLK A LONE ELM ADDH 1 AC LOT 3 BLK A LONE ELM ADDH 1 002 AC	1640 LONE ELM RD	WARAHACHIE	TX IX	75167	1840 LONE ELM RD WAXAHACHE TX 7
2	RETH BRADLET & JERWIER BLANFORD JE ANNINE L & MICHAEL P	1 004	LD1 SELK ALLONE LLM ADDN 1 DO4 AC	1650 LONE ELM RD	WAXAHACHE	TX .	75167	1850 LONE ELM RD WAXAHACHE TX 75
3	WELCH RODNEY D & THERESA A	1 001	LOT 6 BLK A LONE ELM ACON 1 MIT AC	IND GAK DR	ENHIS	TX	75119	1870 LONE ELM RO WAXAHACHE TX 7
	GROBBOLL JOHN & TEREBA	1 029	LOT # BLK A LONE FLM ADDN 1029 AC	1680 LONE ELM RD	WAXAHACHE	TX.	76167	1880 LONE ELM RD WAJAHACHE TX 7
	BRYANBRAILEY A & A DAW EN A	TUST	TOT 7 HEX A LONG TIM ADDN T EM AC	TTOD LONE ELMINO	WALKINGT	TX	75187	THE CONCEANER AND A STATEMENT
8 - S	NUCL APRINGA ALLE	1 033	LOT P BLA A LONE FLM ANDRY 1833 AC	1720 LONE ELM RD	WAIAHACHE	DI	75167	1730 LONE ELM RD WAXAHACHE TX 7
	A DOLDEN EVEL & DAME I AN INCOME							
	HUBERTY EVELYN & DANEL HUBERTY BARBERELLY & JAMEST TRES GROUP LLC	3 174	LOT 10 BIK A LONE ELM ADDN 3 174 AC LOT 11 BIK A LONE ELM ADDN 3 174 AC	1760 LONE ELM RD P 0 B0X 220	WAXAHACHE	TH TX	75105	1700 LONE ELM RD WAXAHACHE TX 70 1000 LONE ELM RD WAXAHACHE TX 70

015010	SCHROEDER JEROME D & CHRIBELDA J	1071	LOT 12 BLK ALONE ELM ADDN 1071 AC	1830 LONE ELM RD		WAXANACHE	12	75187	1030 LONE ELM RD WAXAHACHE TX 75107
51 80 10	BUTTUEDER JEROME DIE GTRUDE EDIT J	Trans	THE WAY I WANTED BY A TOUR	Mentole LLM III		DAUGHA HE	TA .	79.901	THE REPORT OF A DESCRIPTION OF A DESCRIP
100 11	TOALTE LICENA MA TERESA	a Tesh	LOT 3 PEACEFUL PRARIE ESTS & 722 AG	\$79 DWDEND RD STE	c .	MELOTHAN	TX	28085	211 LONE ELM RD WAXAHACHE TX 75187
				5413 E FM 075		WAXAHACHE	11	75167	5413 E FM 875 WAXAMACHE TX 75187
280937	MORROW DELPHIN & WINDHA	2.98	903 J C READ 2 98 ACRES	Dep3 E l'avera			15		THE BROOK SHOE THE WAXANIAL DIE TX YETH?
750005	PROPERTY OWNER								BOS, BRIDDIN WER RELWARDANCE TX 75162
122330	PROPERTY OWNER	10		the second se	and the second s				
275500	PROPERTY OWNER	0							1600 LONE ELM RD WAXAVACHE TX 75167
	PROPERTY OWNER								5014 E FM 875 WAXAMACHE TX 75187
1194452	ALMAR REAL AND ADDRESS								

RECEIVED FEB 1 O 2021



City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-7-2021</u>

RAMIREZ DONNA M & TERESA 1850 LONE ELM RD WAXAHACHIE, TX 75167

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 23, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, March 1, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- Request by Ed Fleming, Walton Global Holdings, LTD, for a Zoning Change from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) - Owner: WALTON TEXAS LP (ZDC-7-2021)
- 2. You may visit the following webpage to view documents relating to this request: http://www.waxahachic.com/departments/planning_department/current_cases.php

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: <u>Planning@Waxahachie.com</u> for additional information on this request.

Case Number: ZDC-7-2021

City Reference: 275611

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, February 16, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachic.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT



Comments:

Elm Rd. anachie, 7275167 Printed Name and

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-7-2021</u>

PROPERTY OWNER 605 BROOKSIDE RD WAXAHACHIE, TX 75167

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 23, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, March 1, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

- Request by Ed Fleming, Walton Global Holdings, LTD, for a Zoning Change from a Future Development and Planned Development (Ordinance #2330) zoning district to a Planned Development-Mixed Use Residential (MUR) with Concept Plan, located South of FM 875, West of I-35, North of FM 1446, and East of Lone Elm Road (Property IDs 182520, 264568, 263786, 192306, 234203, 179534, 187960, 179468) - Owner: WALTON TEXAS LP (ZDC-7-2021)
- 2. You may visit the following webpage to view documents relating to this request: http://www.waxahachie.com/departments/planning_department/current_cases.php

You received this notice because your property is within the area of notification as required by law. As an interested party you are welcome to make your views known by attending the hearings. If you cannot attend the hearings, you may express your views by filling in and returning the bottom portion of this notice. Please contact the Planning Department at (469) 309-4290 or via email: Planning@Waxahachie.com for additional information on this request.

Case Number: ZDC-7-2021

City Reference: 172330

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, February 16, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

SUPPORT	V OPPOSE
Comments: My populition Ste	ms from apartment complexes.
We need Single Family to	o maintain puelly.
A Seulo-	2/22/21 Date
Dean Settlemyer	605 Brookside Ro Wave Tr 7516
Printed Name and Title	Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)

Case Number: ZDC-7-2021

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RECEIVED FEB 2 2 2024 OPPOSE **SUPPORT** Comments: Date Address Name and Title

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City of Waxahachie, Texas Notice of Public Hearing Case Number: <u>ZDC-7-2021</u>

-CA15/2021

RECEIVED FEB 2 2 2021

PROPERTY OWNER 711 BROOKSIDE RD WAXAHACHIE, TX 75167

The Waxahachie Planning & Zoning Commission will hold a Public Hearing on Tuesday, February 23, 2021 at 7:00 p.m. and the Waxahachie City Council will hold a Public Hearing on Monday, March 1, 2021 at 7:00 p.m. in the Council Chamber at the Waxahachie City Hall, 401 South Rogers Street, Waxahachie, Texas to consider the following:

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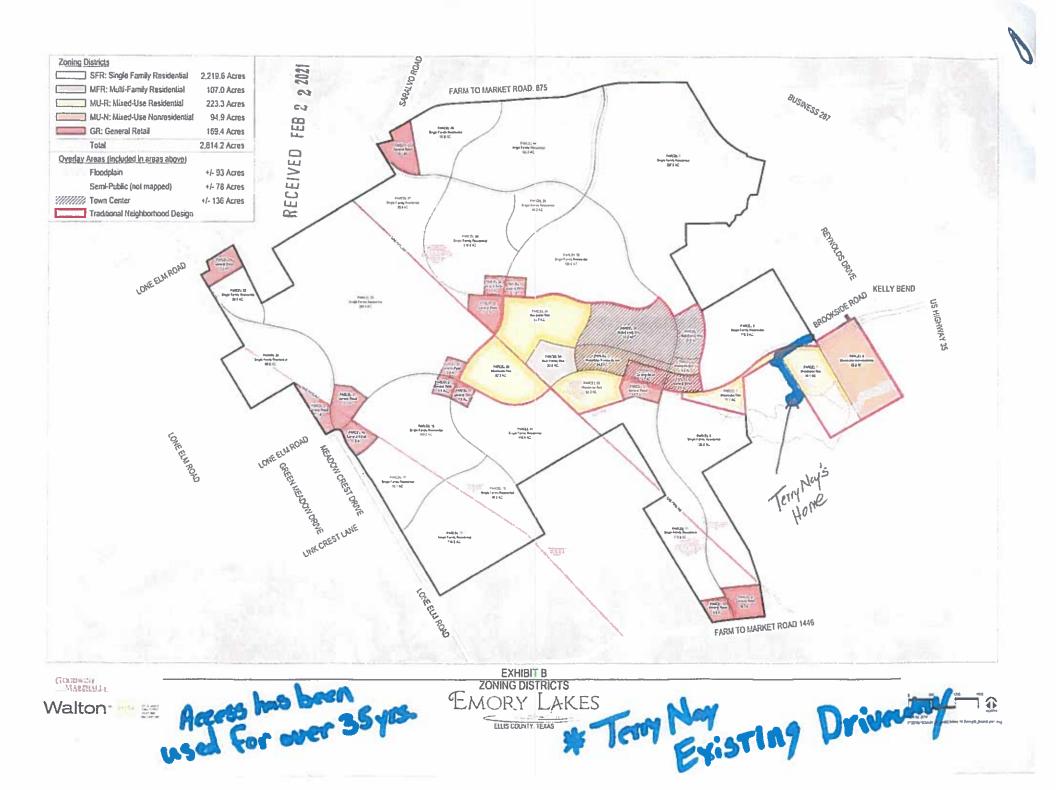
Case Number: ZDC-7-2021

City Reference: 216895

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, February 16, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

	SUPP	ORT		OPPOSE			
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& Jamie M				Audress			
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It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



Case Number: ZDC-7-2021

City Reference: 275606

Your response to this notification is optional. If you choose to respond, please return this form by 5:00 P.M. on *Tuesday, February 16, 2021* to ensure inclusion in the Agenda Packet. Forms can be e-mailed to <u>Planning@Waxahachie.com</u> or you may drop off/mail your form to City of Waxahachie, Attention: Planning, 401 South Rogers Street, Waxahachie, TX 75165.

Comments:	COPPOSE RECEIVED MAR - 2202
Signature	$\frac{2/13/2021}{Date}$
Jeremy I. Rudd, DMD. Printed Name and Title	1720 Lone Elm Rd. Address

It is a crime to knowingly submit a false zoning reply form. (Texas Penal Code 37.10)



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December-2020March 2021

EXHIBIT A: CONCEPT PLAN PROVISIONS

PURPOSE & INTENT

The purpose and intent of this Planned Development (PD) is to develop Emory Lakes as a comprehensive master planned community. Emory Lakes is an approximately 2,813 acres Planned Development located west of downtown Waxahachie. Refer to Exhibit J: Legal Description for project location and context.

Any conditions found within the following Base Zoning Districts or Zoning Ordinance that are not written herein, shall default to the City of Waxahachie's Code of Ordinances, as amended. All references to specific sections to the City of Waxahachie Zoning Ordinance apply to the City of Waxahachie Ordinance in effect at the date of approval of this document. The base/default city zoning district for each of the So PD districts are:

PD Zoning District	Base City of Waxahachie Zoning District
Single Family Residential District Estate, Township, Village Lots & Cottage Lots	SF3 district Section 5.10 Patio homes (Zero lot line homes) & Section 5.09 Single-Family attached (Townhouse or townhome)
Multi-family Residential District	MF2 for residential multi-family uses MF2 for residential multi-family uses
Mixed Use Residential/ Nonresidential Districts	SF3 and § S.10 Patio Home for single family detached residential uses § 5.09 for Attached single-family uses MUR for multi-family residential and MUNR for non-residential uses
General Retail District	General Retail (GR) zoning district
Open Space District	Future Development (FD) zoning district

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December 2020 March 2021

COMPLIANCE WITH THE CITY'S COMPREHENSIVE PLAN

The project is in compliance with the city's comprehensive plan. The project is divided into **65** different zoning districts that will create an appropriate mix of land uses but also accommodates a flexible but appropriate transition between higher and lower intensities of development. The boundaries of each district are indicated on the District Plan. Refer to **Exhibit C: Permitted Land Uses** for the approved uses within each district. The **65** districts reflect the land use designations identified on the city's Future Land Use Plan Map (FLUP) with one exception. The approximate 78 acres of Semi-Public land uses provided in the PD (schools & civic uses) are not mapped on the District Plan. That is because their ultimate locations are not known at this time, but will be shown on future Detailed Plans. The acreages of the **65** districts are similar to the acreages of the land use districts on the FLUP.

In addition to being in compliance with the FLUP, Emory Lakes also meets or exceed the majority of Goals and Objectives identified throughout the Waxahachie 2016 Comprehensive Plan Addendum and the 2007 Parks, Recreation and Open Space Master Plan.

Land Use Types Defined:

Single Family Residential District (SFR)

This district provides a mixture of single family residential uses nestled along the open spaces and natural amenities the project offers. The district provides a variety of lot sizes to accommodate different home styles, buyer demographics and home sizes. The residential lots are designed into smaller neighborhoods with neighborhood parks and open spaces extending into and between neighborhoods.[•] The district has 4 distinct sub districts, which are;

- Estate Lots: This sub district includes single-family detached lots 10,000 sf and 12,500 s.f. and larger.
- Township Lots: This sub district includes detached single-family lots between 8,400 sf and 10,000 sf
- Village lots: This sub district includes detached single-family lots between 6,000 sf and 8,400 sf
- Cottage Lots: This sub district includes detached single-family lots less than 6,000 square feet in size
 including Patio Homes & Zero Lot Line lots and single-family attached buildings (Townhomes).

Multi-family Residential District (MFR)

Traditional apartment- and condominium-type units in attached living complexes characterize this district. These developments may take a variety of forms, including traditional garden style apartments to courtyard apartments as well as brownstone style apartments.

Mixed Use Residential (MU-R)

The district includes a mixture of residential and nonresidential uses. A maximum 80 percent of the acreage or square footage of any proposed development should be residential, with a minimum 20 percent (minimum) of the acreage or square footage nonresidential. Acreage would apply in a horizontal mixed-use development, while square footage would apply in a vertical development. Both vertical and horizontal mixed use could be provided together. Residential uses may be single family (Village or Cottage Lots per the standards in Section 3.2: Single Family Residential Lot Development Standards) or multi-family uses (Refer to density restrictions in Section 3.1: Development Districts).





December 2020 March 2021

Mixed Use Nonresidential (MU-N)

Similar to Mixed-Use Residential district, land designated as MU-N is intended for a mixture of nonresidential and residential uses. The only difference would be that Mixed Use Nonresidential has a greater percentage of nonresidential components than residential. Specifically, a minimum 80 percent of the acreage or square footage of proposed developments are required to be nonresidential with a maximum 20 percent of the acreage or square footage allocated to residential. Southlake's Town Center is an example of Nonresidential Mixed Use. Residential uses may be single family (Cottage Lots per the standards in Section 3.2: Single Family Residential Lot Development Districts).

Commercial General Retail District (GR)

This district is based on the Waxahachle GR zoning district. The locations of the GR districts are at the center of the project near the Village Center node and also generally located along the project perimeter at project entries.

Open Space District (OS)

This district is based on the Waxahachie FD zoning district. The areas designated as an Open Space District are intended to be used as open spaces including landscaping, screening and trails only and serves as a buffer to the adjacent properties.



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Within the 56 PD zoning district areas described above and identified on Exhibit B, the following overlay areas exist. These overlay districts create certain restrictions or development variations to exist within the master plan. Refer to Exhibit B: Zoning Districts for locations of the following overlay areas.

Floodplain

The areas indicated on Exhibit B: Zoning Districts as Floodplain Overlays are generally areas of land subject to inundation by a 100-year frequency flood as determined using standard engineering practices and generally as shown on the flood insurance Rate Map (FIRM) of the City of Waxahachie. These locations are not finalized and the actual floodplain limits, if any, will be finalized at the time of development. These areas may be increased or decreased in size based on the results of FEMA approved studies. Development within the Floodplain Overlay is subject to Appendix B (Flood Damage Prevention) of the City of Waxahachie Code of Ordinances as amended.

Semi-Public

Within the master plan, uses such as schools and civic spaces (libraries, police, fire, etc.) will exist. The exact location for these uses will depend on the phasing and the timing of development. The land area is being set aside but the exact location will be determined at the time of final plat.

Town Center

The area indicated on Exhibit 8: Zoning Districts as the Town Center Overlay Area is delineated as an area that has increased development requirements and can be developed as a mixed-use development. Land uses are intended to be residential multi-family and non-residential commercial uses. Additional, mixed use buildings with ground floor retail and commercial uses with residential units located above are allowed. The development will be a blend of residential and commercial uses that serves as a central destination and hub of activity providing live and work opportunities. Buildings may be oriented closer to the streets to create a stronger pedestrian friendly streetscape.

Traditional Neighborhood Development

This area is allowed and encouraged includes a mixture of residential and non-residential uses including within the Mixed-Use Residential District, Mixed Use Nonresidential District. The location is within the central part of the community and serves as the main node of destination and activity. It includes a variety of residential dwelling interspersed with small scale commercial establishments and public spaces.







December-2020March 2021

SECTION 1: PD DISTRICT DEVELOPMENT STANDARDS

DESCRIPTION OF REQUEST

This zoning plan will establish an integrated and comprehensive development that encourages commercial, retail, shopping, restaurants entertainment and residential uses. The commercial components provide an appropriate response to the traffic and commercial viability that is created in areas along the perimeter of the project along major arterial roadways and centrally located within the project. The areas designated with the Town Center Overlay and Traditional Neighborhood Design will create a destination node for residents and visitors to the project.

PROPOSED USE OF THE PROPERTY

Emory Lakes will include the development of many various land uses including but not limited to Residential, Commercial and Office land uses along with a mixture of recreation and open space amenities. Emory Lakes has been designed to offer a town center area that provides a convenient location for local residents to shop or dine. The outer edges of Emory Lakes provides more commercial uses that allow the surrounding Waxahachie community to shop, dine or entertain within a variety of Emory Lakes planned commercial developments. Additionally the community will provide everything a homeowner needs including a variety of recreational amenities, schools and a variety of quality residential homes.

The project is anticipated to be built out in 30+ years. The initial phase will be along the eastern portion of the site near the Interstate 35 project entrance. Refer to Exhibit H⁺ Phasing Plan.

GENERAL DEVELOPMENT REQUIREMENTS

Applicability

The Emory Lakes Planned Development District is being created as a freestanding district, under the prescribed circumstances contained in these Concept Plan Development Standards. The following Sections delineate the development standards. In the event of a conflict between the written text and the illustrations within this document, the written text contained herein shall control.

This comprehensive development provides higher standards of development, providing a master planned approach to a mixture of land uses. This PD document creates the development controls and regulations to ensure Emory Lakes is developed to the higher standards envisioned and built upon within the master plan. This zoning document has been formatted to respond to the City's Future Land Use Plan while providing marketable commercial, civic and residential land uses.

ARCHITECTURAL DEVELOPMENT STANDARDS

A separate Development Agreement includes the Architectural standards pertaining to the construction of all land uses within this PD.

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SECTION 2: DEVELOPMENT APPROVALS/PROCEDURES

- For the purposes of these development standards, the definitions and regulations of all sections not included within this Concept Plan Development Standards document shall follow those found in the City of Waxahachie Zoning Ordinance, Subdivision Ordinance, Parkland ordinance or other applicable City codes as of the adoption date of this ordinance. The applicability of any changes to the City's regulations shall comply with Texas Local Government Code Chapter 245, as amended.
 - a. All development on land located within the boundaries of Emory Lakes must adhere to the rules and regulations set forth in these Concept Plan Development Standards. The development will be in complete accordance with the provisions of the approved PD and all Detailed Site Plans submitted hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits. To ensure compliance of any Residential Initial Plat, Site Plan or building permit to this PD, the Emory Lakes Covenants, Conditions, and Restrictions (CC&R's) will necessitate the creation of a(n) Architectural/Design Review Committee (A/DRC). The A/DRC must be formed prior to the submittal of the first Residential Initial Plat, site plan or building permit application to the City of Waxahachie (whichever submittal comes first).
 - b. The A/DRC shall consist of representatives from the Master Developer and/or the Home Owners Associate along with an Architectural Consultant, Landscape Architect, and Civil Engineering Consultant. In addition, the A/DRC may consult with other professional advisors as deemed appropriate.
 - c. The A/DRC shall review each and every project (including residential and nonresidential) submittal prior to filing an application with the City of Waxahachie. The application shall be accompanied by a letter of review from the A/DRC.
 - i. In the event the A/DRC makes a comment on a submittal or plan review that is in conflict with City of Waxahachie regulations and Code of Ordinances or regulations of this PD Ordinance, those regulations supersede the A/DRC comments.
 - ii. Any comments made by the City supersede those made by the A/DRC.
- 2. Except as provided by these Concept Plan Development Standards, development within these boundaries of the project are governed by the applicable City regulations as amended. In the event of any conflict or inconsistency between this document and the applicable City regulations, the terms and provisions of these Concept Plan Development Standards shall control. All other City of Waxahachie regulations and ordinances not amended by this document will be covered by the City of Waxahachie regulations and ordinances in effect at the time of adoption of this PD Ordinance.
- The zoning, platting and development review and approval process will follow the PD zoning requirements in sections 2.04 and 7.02 of the City of Waxahachie Zoning Ordinance except as amended:
 - Section 7.02(e)(ii)(1) is amended as follows:
 - For the purposes of this PD, the PD Ordinance shall be considered complete upon approval of a Concept Plan (Exhibit L: Concept Plan) as described in Section 7.02.e of the City of Waxahachie Zoning Ordinance. There is no time requirement for a detailed

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site plan to be submitted for approval after the PD Ordinance is established.

- Detailed Site Plans are required for non-residential properties and shall meet all requirements of Section 7.01.
- 2. Changes of detail on the Detailed Site Plan, which differ from the original Concept Plan, but do not alter the basic relationship of the proposed development to adjacent property, the uses permitted, or increase the density, building height or coverage of the site, or do not significantly alter the landscape plans as indicated on the approved Concept Plan may be authorized by the City Manager or designated representative. The City Manager may, under his/her discretion forward the application to the Planning & Zoning Commission and City Council for approval. Any other changes will require submittal through the Planning & Zoning Commission and City Council approval process.
- For the purpose of single-family subdivisions within Emory Lakes, Section, Appendix A, Article VII § 7.01(a)(iv) of the City of Waxahachie's Zoning Ordinance shall be amended for single family subdivisions for this Ordinance as follows.

(iv) Site plan details - The site plan submittal for any residential portion of the property will be not be required and will be replaced with the following submittal requirements:

Residential Initial Plat: The Residential Initial Plat shall contain sufficient information relative to single-family subdivision design considerations, including but not limited to the following:

- A vicinity or location map that delineates the location of the proposed Residential Initial Plat in the City;
- Boundary lines, abstract lines, corporate boundaries, existing or proposed highways and streets, bearings and distances sufficient to locate the exact area proposed for the subdivision;
- 3. The name, location and recording information of all adjoining subdivisions (or property owners of unplatted property) shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information;
- The location and widths of all streets, alleys and easements, existing or proposed, within the subdivision limits and adjacent to the subdivision;
- 5. The location of all existing and proposed property lines, existing lot and block numbers and date recorded, buildings, existing sewer or water mains, gas mains or other underground structures, easements of record or other existing features within the area proposed for subdivision;
- Proposed arrangement and square footage of lots (including lot and block numbers) and proposed use of same;
- The name and address of the owner with the name of the planner, engineer or registered public surveyor preparing the drawing; the subdivision name shall not be duplicated, but phasing identification is allowed (the City shall determine if the proposed subdivision identification will be in conflict with existing plats);





- 8. Sites, if any, to be reserved or dedicated for parks, schools, playgrounds or other public uses;
- 9. Scale, date, north arrow oriented to the top or left side of the sheet, and other pertinent data;
- 10. Contours with intervals of five (5) feet or less shown for the area (unless, due to some unique aspect of the subject property, the Director of Public Works requires a two-foot contour interval) with all elevations on the contour map referenced to sea level datum;
- Areas contributing drainage to the proposed subdivision shall be shown in the construction (i.e., engineering) plans; locations proposed for drainage discharge from the site shall be shown by directional arrows;
- 12. All physical features of the property to be subdivided shall be shown, including the location and size of all water courses, 100-year flood plain according to Federal Emergency Management Agency (FEMA) information, Corps of Engineers flowage easement requirements, ravines, bridges, culverts, existing structures, drainage area in acres or area draining into subdivisions, the outline of major wooded areas or the location of major or important individual trees, and other features pertinent to subdivision;
- 13 Location of water and sewer lines and other infrastructure (including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated;
- 14. Where a subdivision is proposed to occur in phases, the subdivider, in conjunction with submission of the The Residential Initial Plat, shall provide a schedule of development; the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision; City staff shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be revised for the entire project or for such phases as the Council determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares;
- 15. All Residential Initial Plats shall be submitted in a legible format on a good grade blue line or black line paper;
- 16. Proposed or existing zoning of the subject property and all adjacent properties;
- Sections 7.02(e)(vi)(2), (3)(4) and (5) do not apply to this PD.
- Section 2.04 (b):
 - At such time a request to amend the PD is submitted, only the property owner (or their representative) initiating the request shall be named as the "Applicant". All owners of the property within the boundaries of the PD are not required to be applicants for amendments to the PD, unless the requested amendments directly affect their property.
- Section 2.04 (d)(i):
 - The notification area shall be two hundred (200) feet from the subject property listed on the application as defined by a separate boundary survey or exhibit or as required by State law.
- In the event the proposed change to the PD regulations are modifications to the overall Concept
 Plan Development Standards and do not specifically impact individual parcels or lots or affect a

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Residential Initial Plat or Detailed Site Plan, then the proposed zoning change text amendment will be processed in accordance with City of Waxahachie Zoning Ordinance Section 2.04.

- If the amendment will create new development standards for an entire phase, section, tract, or neighborhood within the PD, then a PD Addendum may be proposed and added to the PD ordinance as an appendix without modifying the existing standards for any previously developed phase, section, tract, or neighborhood but such Addendum would processed in accordance with City of Waxahachie Zoning Ordinance Section 2.04.
- 2. Proposed modifications to the PD regulations that do not alter the basic relationship of the proposed development to adjacent property; the uses permitted; or increase the density, building height, or coverage of the site; the off-street parking ratio; reduce the yards provided at the boundary of the site; or do not significantly alter the landscape plans as indicated on the approved Concept Plan may be authorized by the City Manager or designated representative. The City Manager may, under his/her discretion forward the application to the Planning & Zoning Commission and City Council for approval.
- The Concept Plan referenced in Section 7.02.c.ii.1 and 7.02.c.ii of the City of Waxahachie Zoning Ordinance and referenced in this PD Ordinance is included in this zoning submittal as Exhibit L: Concept Plan.

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SECTION 3: DEVELOPMENT DISTRICTS

1. Development Districts

All of Emory Lakes has been divided into 55 districts (Refer to Exhibit B: Zoning Districts) to delineate the designated land uses and development standards/regulations in effect.

_	District	Gross Acreage	Maximum Residential Gross Density	Maximum Dwelling Units	
MSFR:	Single-family Residential	± 2,2 <u>2019</u> acres	2.6 du/ac.	5,769	
MMFRR:	Multi-family Residential	± 107 acres	18.0 du/ac	1,926	
MU-R:	Mixed Use Residential	± 2 <u>20</u> 23	6.0 du/ac.1	1,070	
		acres			
MU-N:	Mixed Use Nonresidential	± <u>88</u> 95 acres	10.0 du/ac.1	190	
GR:	General Retail	± 169 <u>72</u>	0	On/a	
		acres			
<u>OS.</u>	Open Space	±7 acres	<u>0</u>	Q	

¹ Net Density in the MU-R and MU-N district is the based off the parcel net acreage which is calculated as the gross parcel acreage, minus any land area in the 100 year floodplain, ROW area for any Street 2 (as shown on Exhibit F) and any existing gas easements. The maximum gross density shown is for the residential portion of the district.

2. Single Family Residential Lot Development Standards

Lot Types:

The development of Single Family lots includes the following 7 lot sizes:

	Estate Lots		<u>Township</u> Lots	Villag	<u>e Lots</u>	<u>Cotta</u>	e Lots
Lot Area (min.)	<u>12,500 sf</u>	<u>10,000 sf</u>	<u>8,400 sf</u>	<u>7,000 sf</u>	<u>6,000 sf</u>	<u>5,000 sf</u>	<u>2,000 sf</u>
Lot Width (min.)	<u>90 ft.</u>	<u>80 ft.</u>	<u>70 ft.</u>	<u>60 ft.</u>	<u>50 ft.</u>	<u>50 ft.</u>	<u>20 ft</u>
Lot Depth (min.)	<u>120 ft.</u>	<u>120.ft.</u>	<u>115.ft.</u>	<u>115 ft</u>	<u>115 ft</u>	<u>100 ft.</u>	<u>100 ft.</u>

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Single Famil	y Lot Mix for	entire project
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Emory Lakes may not exceed a total of 7,029 single family lots at build out. The following lot mix requirements are for the entire single family lots within Emory Jakes.

- At least 12% (844 lots) of the total lots must be Estate lots 12,500 s.f. or larger.
- o At least 28% (1,969 lots) of the total lots must be Estate lots 10,000 s.f. or larger.
- At least 10% (703 lots) of the total lots must be Township lots 8,400 s.f. or larger.

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Emory Lakes

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- o No more than 45% (3,163 lots) of the total lots may be Village lots, between 6,000 s.f. and 8,400 s.f.
- No more than 15% (1,054 lots) of the lots may be Cottage lots but a of minimum 3.5% (247 lots) of the total lots must be Cottage lots.

Minimum Living Area for all Single-Family Homes

	Estate Lots		<u>Township</u> Lots	Villag	e Lots	Cottag	<u>e Lots</u>
Minimum living	<u>2,200</u>	2,000	2,000	<u>1,800</u>	<u>1,600</u>	<u>1,250</u>	<u>1,200</u>
<u>area</u>	feet	square feet	square feet	square feet	square feet	square feet	square feet

Initial phase(s) of Single Family Development

The following standards apply to the initial single family phase(s) of for the project. For the development of single family lots in any of the districts where single family is permitted, the following development standards apply.

- A minimum of 20% of all single family lots proposed on the first Residential Initial Plat shall be Estate Lots <u>10,000 s.f. or larger</u>.
- A minimum of 1745 Township Lots (approximately 25% of the total required Township Lots) shall be
 plated in the first three phases of the development as depicted on Exhibit H. Phasing Plan.

Additional Single Family Development Regulations

For the development of single family lots in any of the districts where single family is permitted, the following development standards apply.

- Until the minimum required amount of Estate Lots is reached, a minimum of 14115 Estate Lots (approximately 5% of the required Estate Lots) shall be included on sequential Residential Initial Plats.
- When a Residential Initial Plat includes 150 or more lots, the Residential Initial Plat must include at least 3 different lot sizes.
- Minimum lot widths are measured at the front building setback line.
- A.minimum of 145 Township Lots (approximately 25% of the total required Township Lots) shall be
 plated in the first three phases of the development as depicted on Skihibit H, Phasing Plan.
 - Single Family Residential Lot Mix
 A maximum of 7,032 single family residential units are permitted within Emory Lakes
 - Unit Mix
 - o-----Estate-Lots-must-be-a-minimum 40% of the total number of single family lots
 - 6 Estate-Lots 12,500 s.f. or larger must be a minimum of 12% of all the single-family lots
 - e Township Lots must be a minimum 10% of the total number of single family lots
 - o-------Village Lots-must-be-a-maximum-45% of the total number of single family lots
 - e Cottage Lots must be a minimum 3.5% of the total number of single family lots with a maximum of 15%

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Single Family Lot Additional Single Family Development Regulations

For the development of single family lots in any of the districts where single family is permitted, the following development standards apply. Building Setbacks & Dimensional Standards

	Estat	Estate Lots		Villag	e Lots	ots Cottage Lots	
	12% minimum	none					
Lot Area (min.)	12,500 sf	10,000 sf	8,400 sf	7,000 sf	6,000 sf	5,000-s f	2,000-sf
Lot Width (min.)	90 ft.	80 ft.	70 ft.	60 ft.	50 ft.	50 ft.	20 ft.
Lot-Depth (min.)	120 ft.	120 ft.	115 ft.	115 (t.	115-ft,	100 ft.	100 ft.
Front Yard Setback (min.)	30 ft.	30 ft.	20 ft.	20 ft.	20 ft.	20 ft.1	20 ft. ¹
Garage Setback (min.)	30 ft.	30 ft.	20 ft.	20 ft.	20 ft.	20 ft. ³	20 ft. ³
Side Yard Setback (min.)	15 ft.	10 ft.	5 ft.	5 ft.	5 ft.	1/9 or 5 ft ²	0 ft.
Rear Yard Setback (min.)	25 ft.	25 ft.	20 ft.	15 ft.	15 ft.	10 ft.1	10 ft ¹ .
Corner Yard Setback (min.)	20 ft.	15 ft.	15 ft.	15 ft.	15 ft.	15 ft.	15 ft.
Porch Front Yard Setback	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Building Height (max.)	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.	2 ½ stories and 35 ft.
Minimum living a rea	2,200 square feet	2;000 square feet	2,000 square feet	1,800 square feet	1,600 square feet	1,250 square feet	1,200 square feet
Lot Coverage (max.) ⁴	50%	50%	55%	55%	55%	60%	70%

¹ If garage access if from a rear alley, the minimum front yard setback shall be 10 ft, and the rear yard setback shall be a minimum of 25 ft.

² Side yard setbacks can vary between 1 and 9 so long as minimum 10 ft. building separation is provided between buildings on adjacent lots. Maximum building height: is identified as number of stories and is not capped at 35 feet. Each adjacent lot shall provide an access or use easement, a minimum of three (3) feet , adjacent to the "zero" (one-foot) side or there must be a three (3) foot setback from the adjacent "zero" side to allow the property owner access for maintenance of his dwelling.
² If garage access is from a rear alley, the rear garage setback shall be a minimum of 25 ft. from the alloy ROW.

⁴ Maximum Lot Coverage: maximum percent of lot that can be covered by principal and any accessory buildings but does not include driveways

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3. Single Family FR-District Lot Locations & Residential Lot Mix RequirementsGarage Types When single family residential uses are developed within the SFR District the following regulations on the various lot sizes, lot mix, density and development types of the residential product type will apply. If there is a conflict between the language below and the table, the most stringent will supersede.

The following garage locations are allowed within certain lot districts, refer below on which garages are allowed for each specific lot size.

Alley occess: Garages may be located in the rear of the lot if accessed by an alley. At least 25% of the lots 8,400 s.f. or larger (Estate or Township) must be alley access.

Side Entry: Garages may be located on the side of the home. If the side of the home faces a corner street, they will be treated as a front entry garage and must follow the standards below.



Example of side entry garage access.

"" Swing: Garages may be located in the front of the home as a "I" Swing. The garage door must be a wood simulated wood or wood simulated, carriage style garage doors including wood or wood simulated panels, decorate brackets.



Example of "J" Swing garage

Front Entry: Garages may be located in the front of the home facing the front street but they the garage door must be recessed at least three (3) feet behind the front elevation, excluding any front porches. The garage door must be a wood simulated wood or wood simulated, carriage style garage doors including wood or wood simulated panels, decorate brackets.

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Example of Front entry with recessed garage.

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Estate Lots

Estate Lots (This sub-distr	rict includes single-family lots 10,000 sfeuere feet and 12,500 sf and larger.)		
	At least 40% of all single family lots shall be Estate Lots. Additionally, at least	·	Formatted: Font: Bold, Italic
30% of all Esta	te Lots shall be 12,500 square feet or larger. A minimum 2,000 square foot home		Formatted: Space After: 3 pt
	the 10,000 sf or larger lots and lots 12,500 sf or larger must have homes at least		Formatted: Font: Bold
2,200 sf-or-larg	ser.—All<u>permitted</u> eys		
Side Entry:	permitted		Formatted: Font: Bold, Italic
"J" Swing;	permitted, not allowed on a lot within 150 feet of a thoroughfare with a Right- of-Way at least 80 feet in width or wider	•	Formatted: Indent: Left: 0.5", Hanging: 1", Space After: 3 pt
Front Entry:	permitted, not allowed on a lot within 150 feet of a thoroughfare with a Right- of Way at least 80 feet in width or wider are not permitted.		Formatted: Font: Bold, Italic
	<u>s</u> rict includes single-family lots between 8,400 sf and 10,000 sflquare feet. At least re-family lots shall be Township Lots with a minimum 2,000 square foot house		
	re not permitted.		
Alley access:	permitted		Formatted: Space After: 3 pt
Side Entry:	permitted		
"J" Swing:	permitted, not allowed on a lot within 150 feet of a thoroughfare with a Right-		Formatted: Indent: Left: 0.5", Hanging: 1", Space After: 3
-116	of-Way at least 80 feet in width or wider		pt
Front Entry:	permitted, not allowed on a lot within 150 feet of a thoroughfare with a Right-		
	of Way at least 80 feet in width or wider		
	di way actease do recent mach of mach		
			Formatted: Font: Not Bold
This sub-distri	ct includes single-family lots between 6,000 sf and 8,500 souare feetf. No more		Formatted: Font: Not Bold Formatted: Underline
This sub-distri than 45% of a	ct includes single-family lots between 6,000 sf and 8,500 square feetf. No more		<u>}</u>
This sub-distri than 45% of a shall be 7,000	ct includes single-family lots between 6,000 sf and 8,500 square feetf. No more I single family lots will be Village Lots - Additionally, at least 55% of all Village Lots square feet or larger Lots 7,000 sf or larger will have a minimum 1,800 sf house		<u>}</u>
This sub-distri than 45% of a shall be 7,000 and lot less th	ct includes single-family lots between 5,000 sf and 8,500 square feetf. No more I single family lots will be Village Lots. Additionally, at least 55% of all Village Lots square feet or larger. Lots 7,000 sf or larger will have a minimum 1,800 sf house an 7,000 sf will have a 1,600 sf minimum house. These lots will be front loaded or		<u>}</u>
This sub-distri than 45% of a shall be 7,000 and lot less th J swings, Alley	ct includes single-family lots between 5,000 sf and 8,500 square feetf. No more I single family lots will be Village Lots. Additionally, at least 55% of all Village Lots square feet or larger. Lots 7,000 sf or larger will have a minimum 1,800 sf house an 7,000 sf will have a 1,600 sf minimum house. These lots will be front loaded or ys are only permitted with City Council approva)ly.		<u>}</u>
This sub-distri than 45% of al shall be 7,000 and lot less th I swings. Alley Alley access:	ct includes single-family lots between 5,000 sf and 8,500 square feetf. No more I single family lots will be Village Lots. Additionally, at least 55% of all Village Lots square feet or larger. Lots 7,000 sf or larger will have a minimum 1,800 sf house an 7,000 sf will have a 1,600 sf minimum house. These lots will be front loaded or ys are only permitted with City Council approva)ly.		Formatted: Underline
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than 45% of al shall be 7,000 and lot less th	ct includes single-family lots between 6,000 sf and 8,500 square feetf. No more I single family lots will be Village Lots. Additionally, at least 55% of all Village Lots square feet or larger. Lots 7,000 sf or larger will have a minimum 1,800 sf house an 7,000 sf will have a 1,600 sf minimum house. These lots will be front loaded or ys are only permitted with City Council approva)L permitted		Formatted: Underline
This sub-distri than 45% of a shall be 7,000 and lot less th J swings, Alley Alley access: Side Entry:	ct includes single-family lots between 6.000 sf and 8.500 square feetf. No more Il single family lots will be Village Lots - Additionally, at least 55% of all Village Lots square feet or larger. Lots 7,000 sf or larger will have a minimum 1,800 sf house an 7,000 sf will have a 1,600 sf minimum house. These lots will be front loaded or ys are only permitted with City Council approva)ly permitted permitted permitted permitted, not allowed on a lot within 150 feet of a thoroughfare with a Right		Formatted: Underline Formatted: Space After: 3 pt Formatted: Indent: Left: 0.5", Hanging: 1", Space After: 3

Cottage Lots

Alley access: required Side Entry: not permitted "J" Swing: not permitted Front Entry: not permitted Formatted: Space After: 3 pt

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This sub-district includes single-family-lots less than 6,000 square feet in size including Patio Homes, Zero Lot Line and single-family-lots less than 6,000 square feet in size including Patio Homes, Zero Lot Line and single-family attached buildings (Townhomes). Patio-homes are typically clustered into individual-neighborhood enclaves. These lots will be primarily designed with alleys but front-loaded/non-alley-designs-may-be-allowed. Townhome-lots will typically be in close-proximity to Patio-Homes and some non-residential-land uses. At least 3.5% but no more than 15% of all single family lots-shall be Cottage Lots. No-more than 75% of these lots may be designed with alleys without City Council approval. The minimum house size for Townhomes is 1,200 square feet. All other Cottage Lots have a minimum house size of 1,250 square feet.

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4. MFRR, MU-R, MU-N & GR District Development Standards

For development of land uses other than single family development, the following development standards will apply for development in the MFR, MU-R, MU-N & GR districts.

Development Standard	MFR	MU-R	MU-N	Town-Center Overlay	GR
Lot Area (min. per dwelling unit)	2,420 s.f.	1,452 s.f.	726 s.f.	None	7,000 s.f.
Lot Width (min.)	60 ft.	None	None	20 Ft.	60 Ft.
Lot Depth (min.)	120 ft.	None	None	100 Ft.	100 Ft
Front Yard Setback adjacent to single family (min.) ¹	25 ft. 75' if over two stories.	None	25 Ft.	None	40 Ft.
Front Yard Setback all other instances (min.) ¹	25'. 100' if over 2 stories	None	25 Ft.	None	40 Ft.
Side Yard Setback adjacent to single family (min.) ¹	50 ft. 75' if over two stories.	25 Ft.	25 Ft.	None	25 Ft.
Side Yard Setback all other instances (min.) ¹	25'. 100' if over 2 stories	25 Ft.	25 Ft.	None	20 Ft.
Rear Yard Setback adjacent to single family (min.) ¹	50 ft. if 2 stories or less. 75 ft. if over 2 stories	25 Ft.	25 Ft.	None	25 Ft.
Rear Yard Setback all other Instances (min.) ¹	50 ft.	25 Ft.	25 Ft.	None	20 Ft.
Corner Yard Setback all other Instances (min.) ¹	50 ft.	30 Ft.	30 Ft.	None	25 Ft.
Building Height (max.)	3 stories	4 stories	5 stories	3 stories	2 stories
Minimum living area ²	800 SF	1,200 SF	1,200 SF	Based on underlying zoning	N/A
Bedroom Mix Studio & 1 Bedroom 2 Bedroom 3 or more Bedrooms	No maximum 20% (max.) Not allowed	No maximum 10% (max.) Not allowed	No maximum 20% (max) Not allowed	No maximum 20% (max) Not allowed	Use not allowed
Lot Coverage (max.)	40%	50%	50%	95%	40%
Maximum Density (units per gross acres)	18.0	6.0	10.0	Based on underlying zoning	N/A

Regardless of building heights. "Adjacent ta" is defined when 2 parcels are directly abutting each other without a public ROW in between 2 parcels. When a public ROW is between 2 parcels of land, the land uses are not considered adjacent. 2. Minimum living area is for 1-bedroom units. Add 200 s.f. per each additional bedroom,

F Emory Lakes



Note, when a building includes a mixed use family of uses, such as a ground floor retail with residential above, the development standards for Multi-family residential uses will be utilized for the building design (lot area, width, depth, setback, etc.)

Multi-Family Phasing Restrictions

Initial Phase

A multi-family project may not be permitted until at least seven hundred fifty (750) SFR Districts lots have been permitted. At that time a maximum of two hundred fifty (250) multi-family units may be permitted.

Future phases

Additional multi-family units may be permitted as long as the following minimum SFR District lots have been permitted.

Total Permitted	
SFR District Lots	Total Maximum multi-family units allowed to be permitted
1,500 SFR lots	500
2,250 SF R lot	800
3,000 SF R- lots	1,100
3,750 SFR lots	1,400
4,000 SFR lots	1,700
5,000 SFR lots	all remaining multi-family units

5. Semi Public Overlay Area (Civic & Schools)

Emory Lakes has worked with the Waxahachie ISD in identifying the future need of school sites-

<u>Schools</u>

Waxahachie Independent School District (WISD) will be provided up to five (5) elementary school sites within the development at no cost to the school district.

- The sites will range in size from twelve (12) to fifteen (15) acres depending on adjacency to open space and parks.
- b. The sites will be on gentle slopes with adequate utilities (water, sewer, gas and electric service) provided by the developer.
- c. The total number of elementary school sites provided to WISD may decrease or increase depending on the amount of age-restricted single-family lots and/or multi-family units developed. Typically each school site is anticipated to serve approximately 1,990 residential lots, excluding age-restricted lots.
- d. Each site will be determined prior to the submission of a Residential Initial Plat . The site is to be mutually agreed upon by the landowner and WISD.
- e. The final transfer of each site is contingent upon the WISD commitment to build (as determined by WISD needs analysis).
- f. Developer agrees to sell one continuous section of 25 acres for the purpose of a junior high school campus to WISD. The value of the property shall be determined by an appraisal done at or near the time that the WISD notifies the developer for the need of the property.

Civic Land Uses

Page 20

Up to ten (10) acres of and will be donated to the city of Waxahachie for civic uses including but not limited to fire and/or police stations. The final location will be coordinated with the City during the





detailed review stages. The site(s) will be determined as part of the submission and review of the Residential Initial Plat(s).

6. Town Center Overlay Area

The following supplemental regulations are required within the town center overlay area: Parking setbacks

Parking

- a. For any Street Types 4, 5 or 6 (Refer to Exhibit G: Street Sections) within or abutting the Town center Overlay Area, perpendicular or angular on street parking is required. The parking must be within the street Right-Of-Way or a public access easement.
- Off-street surface parking shall be predominantly located behind buildings and accessed by alleys or rear drives whenever possible.
- c. Parking lot layout, landscaping, buffering, and screening shall minimize direct views of parked vehicles from streets and sidewalks.
- d. Parking garages are permitted but may not be taller than any building abutting the garage and while conforming to the design standards a-c listed above.

Sidewalks (adjacent to street)

For any Street Types 1-6 (Refer to Exhibit G: Street Sections) within or abutting the Town center Overlay Area must have a minimum sidewalk width of 8 feet. The sidewalks may meander outside of the Right-Of-Way but must be in a public access easement if not located within the Right Of Way. Adjacent sites shall be designed with a continuous pedestrian system throughout the development. Emory Lakes





Example of wider sidewalk creating a pedestrian zone between building façade and street/parking.

Adjacent cites shall be designed with a continuous pedectrian system throughout the development.

Buildings

- a. Building adjacent to Street Types 2, 3, 4 and/or 5 (Refer to Exhibit F & Exhibit G) shall be constructed at the property line adjacent to the minimum 8' wide sidewalk.
- b. All multi-family development adjacent to Street Types 2 (Refer to Exhibit F & Exhibit G) shall be vertically mixed with non-residential uses on the ground floor.

<u>Streetscape</u>

- a. Street and sidewalk furnishings including but not limited to; planting strips, raised planters, trash receptacles, street lights, street signs, wayfinding signs, seating, public art, water features, fire hydrants and tree grates, shall be similar in design and materials to the images below to the greatest extent possible.
- b. Street trees may be planted in planting strips or tree wells

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Examples of streetscape

<u>Screening</u>

- a. In the Town Center Overlay Area, when multi-family or mixed use development fronts onto a thoroughfare or adjacent street, so long as no dumpsters, outside storage or loading areas are visible from the street, the required screening is only:
 - i. Screenwall: none required
 - ii. Street Trees: One (1) canopy tree at least four (4) caliper inches, planted for every forty (40) linear feet
- b. Patio fences and perimeter fences for a gated development are permitted within the landscape area.
- c. The screening requirements for the perimeter areas of the site where buildings do not front onto an adjacent street will default to the City of Waxahachie screening requirement specified in section 5.03(f) of the City of Waxahachie Zoning Ordinance.
- d. Parking lots exposed to view from abutting single-family residential properties shall be surrounded by a minimum of a 3-foot high barrier in the form of berms, shrubs, walls, or a combination thereof.
- e. Transformers, HVAC equipment (if located at the ground level), utility meters, and other machinery, as well as garbage collection points, should be located at the rear lane, drive or alley. If such uses are visible from any adjacent rights-of way or property, they shall be fully screened by a fence (minimum 6 ft. wood board on board) or a masonry wall (minimum 6 ft. high) or suitable plants or other visual barrier of an appropriate height.
- f. Trash dumpsters shall have a metal door which shall remain closed at all times.

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7. Traditional Neighborhood Development (TND) Standards

Traditional Neighborhood Developments are allowed and encouraged within the Mixed Use Residential District, Mixed Use Nonresidential Districts and within the Town Overlay.

Concept and Intent

Page 24

Traditional Neighborhood Development includes a variety of residential dwellings interspersed with small scale commercial establishments and public spaces. They are characterized by:

a. Walkable neighborhood centers and focal points;

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- Small, efficient lots with modest sized buildings fronting on, and aligned with, streets in a disciplined manner, generally uninterrupted by parking lots;
- Generally regular geometric patterns of streets and blocks arranged to provide comprehensible routes of travel;
- Well-configured squares, greens, gardens, and parks woven into street and block patterns and dedicated to collective social activity, recreation and visual enjoyment;
- e. Civic buildings for assembly or other civic purposes, sited to act as visual landmarks and symbols of identity within the community.

Design Standards: The area designated as Traditional Neighborhood Developments on Exhibit B: Zoning Districts must follow the following additional design standards:

- All TND projects shall comply with the following design standards established in this section:
 - All uses which are permitted by right in underlying zoning district bylaw are permitted by right in a TND project.
 - Each single-family neighborhood shall have at least threea mixture of lot sizes and may not include more than 75% of the same lot type(3) single-family lot types
 - All lots shall share a frontage line with a street or an open space platted as a public easement such as a square, courtyard or park.



Example of residential homes facing onto a central park/square.

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- ii.d. Upon City Council approval, a<u>A</u>II single-family lots shall be alley loaded unless backing up to a greenspace or trail system
- bec.Alley lighting shall be provided on all garages or on poles adjacent to parking areas. Lighting fixtures and poles shall be consistent in architectural style and shall complement the predominant architectural theme
- ef. Rear yards shall not back to a street regardless of size of the street.
- d-g. Cul-de-sacs are not permitted
- Similar land use categories shall face across streets; dissimilar land uses shall abut at rear lot lines.
- e-i. All Hots and buildings shall front and have entries onto streets or squares.
- Fig. The placement of residential and non-residential land uses shall be such that pedestrian rather than vehicular access to non-residential uses is facilitated and encouraged.
- g-k. Each project should contain at least one (1) square, not less than one-half (½) acre in size, close to the center
- _____The minimum internal open space for any residential development shall be the greater of ______On street parking shall be provided in nonresidential areas.
- m._two (2) acres or five (5) percent of the gross acreage of the neighborhood.__ h.o. On street parking shall be provided in nonresidential areas.



Example of residential homes facing onto a central park/square

- All lots shall share a frontage line with a street or an open space platted as a public easement such as a square, sourtyard or park.
- 2. On street parking shall be provided in nonresidential areas.

SECTION 4: PERMITTED LAND USES

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See Exhibit C: Permitted Land Uses

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SECTION 5: AMENITIES, PARKS & OPEN SPACES

1. Recreational and Social Amenities

In order to promote a sense of community, social programming will be incorporated into the fabric of the community by the home owner's association, a professional management team and on-site lifestyle managers. This programming is intended to create and support interaction between families, neighbors, neighborhoods, and villages within Emory Lakes. Functions and events may include, but are not limited to, items such as the following:

a. Clubhouse / Pool Activities and Events:

Swim lessons, water aerobics, dance classes, karate classes, fitness classes, scrapbooking, book clubs, cooking classes, wine tasting, New Year's celebrations, bunko night, kid's story time, casino nights, super bowl parties, Valentine's Day mom's night out, March madness, Easter Parade, Memorial Day pool opening, 4th of July event, Labor Day celebrations, Halloween events, Thanksgiving pot luck, meet and greet Santa, meet and greet your neighbors, and pancake social.

b. Outdoor Activities:

Bike races, horseshoes, tennis, sand volleyball, movie nights, fireworks, national night out (safety), astronomy, bird watching, nature tours and classes, summer camps, nature hikes, fun runs, run and bike clubs, marathons, mom's stroller classes, and barktoberfest (dog party)

c. Additional Events

Trade days, art and craft fairs, potter, Taste of Waxahachie, farmers market, WiFi in public areas, art competitions, sculpture contest, community parades, medieval fair, and musical theatrical performances.

d. Programing

The HOA and management team will maintain a community website that includes such items as a calendar of events, HOA information and a newsletter.

2. Overall amenity program

As a master planned community, Emory Lakes will have an extensive and programmed system of amenities throughout. These amenities combine to create an overall sense of place that would be difficult to achieve when considered as independent elements within smaller developments. The community amenities that are addressed within these Development Standards are:

- a. Dedicated open space throughout the project, including public and private areas
- b. Community Amenity Centers
- c. Neighborhood Parks (Public or private)
- d. Public Park Land Dedication
- e. Master Trails & Open Spaces
- f. Primary and Secondary Community Entries
- g. Neighborhood Entries
- h. Thoroughfare Landscape Buffers
- i. Maintenance

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A. Dedicated Open Space (Minimum 400 acres)

At least 400 acres of the gross project area must be preserved as open spaces that are comprised of usable area that is at least 20 feet wide (such as larger landscape/trail buffer areas or linear greenbelt corridors) or any size area so long as it incorporates any amenity elements listed in section 5.2.B, 5.2.D, 5.2.E, or 5.2.F of the PD. These open spaces may be passive areas such as floodplain, utility easements, landscape buffers or visual setbacks but can also be active spaces such as Community Amenity Centers (see Section 5.2.B), Neighborhood Parks (see Section 5.2.D), or Public Parks (see Section 5.2.E). No more than 63.3 acres of areas within the 100 year floodplain may count towards the overall open space requirement at buildout. This open space requirement is calculated at build out and is not on a phase by phase development requirement. A summary of open space will be included at each Residential initial Plat and/or Detailed Site Plan submittal including a rolling summary for any previously approved Residential Initial Plat and Detailed Site Plan(s). The first plat that includes any lots other than a ROW or utility easement must include the required open space for that initial plat.

Minimum Open Space Phasing:

The final plat that includes the 1,000th single family lot must indicate that at time of approval at least 60 acres of open space will be platted.

The final plat that includes the 3,000th single family lot must indicate that at time of approval at least 180 acres of open space will be platted.

The final plat that includes the 5,000th single family lot must indicate that at time of approval at least 300 acres of open space will be platted.

B. Community Amenity Centers (Minimum 20 acres)

At least four (4) separate community amenity centers, eachs at least 4.0 acres in size, will be spaced throughout Emory Lakes. One (1) amonity center will be included in the first phase of the development. The amenity center must be completed within 270 days after the 300th residential home permit is issued by the City. A second amenity center must be completed within 270 days after the 2,000th residential home permit is approved by the City. A third amenity center must be completed within 270 days after the 2,000th residential home permit is approved by the City. A third amenity center must be completed within 270 days after the 4,000th residential home permit is approved by the City. A fourth amenity center must be completed within 270 days after the 6,000th residential home permit is approved by the City. A fourth amenity center must be completed within 270 days after the 6,000th residential home permit is approved by the City. All four (4) community amenity centers will have pools (at least 2,500 s.f. of water surface area) with bathrooms. All amenity centers will be HOA maintained.

Required Elements

Each community amenity center must include the following amenities and/or elements:

Each community omenity conter must include the following emerities and/or elements:

a) Pool at least 2,500 s.f. of water surface area) b) Bathrooms a)c)Landscaping b)d) Sodded grass c)e)Irrigation for all plant material d)f)Walkways c)g)Seating (individual seats, benches and/or gliders)

 (h)
 Bike Racks

 gii
 Water Fountain for humans and pets

 h)i
 Pet Waste Station

 iki
 Trash Receptacle(s)

 jii
 Wi-Fi

 kim
 At least one (1) ADA Accessible amenity

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Additional Main Amenity Elements:		Formatted: No underline
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3)-Main-Amenity-Elements (of which-1-has to	be a community pool) of the following elements:	Formatted: Font: Bold
nd-four (4) Additional Amenity Elements- Each addi Aain Amenity Elements and at-least three (3) Additio		Formatted: Indent: Left: 0", Tab stops: 0.5", Left
Main Amenity Elements:		
a)—Air-conditioned club house (at least 1,500	offices, gathering space, workout facilities or similar	Formatted: Indent: Left: 0.5"
uses.	Ances, Bathering space, workout latinities of similar	Formatted: Indent: Left: 0.5"
b) Cabana or other shade/picnic pavilion (at	least 200 s.f. in covered area) place or barbeque/cooking area with seating areas.	Formatted: Indent: Left: 0.5"
 d) Sport courts (bocce, pickle ball, tennis, ball) e) Sport fields (including soccer or baseball) dimensioned field) <u>Community pool or Additional pool or</u> spr 	fields with an area at least the size of a U8 ude goals, baseball fields will include a backstop.	
 g) Playground or tot lot with three (3) or mo Playgrounds for general examples of app 	pre of the following elements (Refer to Exhibit K:	Formatted: Indent: Left: 0.5", Space After: 0 pt, Line spacing: single
a) Activity Panels	b. Roundabouts *	Formatted: Font: 10 pt
a. Word and image	e) - Eitness -	Formatted: Space After: 0 pt, Line spacing: single
Spinning Blocks b. Alphabet Boards	f <u>h)</u> Overhead a. Rolling Bars	Formatted: Indent: Left: 0.75", Space After: 0 pt, Line spacing: single
c. Large Mirrors b) Balancing a. Balance beams b. Stepping stones	b. Monkey Bars c. Overhead ladders d. Swinging Bars	Formatted: Indent: Left: 1.25", Space After: 0 pt, Line spacing: single
c. Log rolls c) Climbing	e. Rings electron de la constant electron de	Formatted: Indent: Left: 0.75", Space After: 0 pt, Line spacing: single
a. Nets b. Domes	a. Musical & Noise b. Educational	Formatted: Indent: Left: 1.25", Space After: 0 pt, Line spacing: single
c. Shaped structures (animals, vehicles,	c. Built-in tactile elements d. Fossil Digs er	
geometric) d. Crawl Tubes	j) Swings k) Zip Lines	Formatted: Indent: Left: 0.75", Space After: 0 pt, Line spacing: single
d) <u>Eltness</u> e) <u>Sand and Water</u> f) Slides	l) Shade Structures m) Trail Head	Formatted: Indent: Left: 1.25", Space After: 0 pt, Line spacing: single
dial Motion and Spinning	n) Play houses / structures	Formatted: Space After: 0 pt, Line spacing: single
a. Merry Go Round eor	b. Zip Line	Formatted: Font: 10 pt
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Additional Amenity Elements: In addition to the Required Elements and Main Amenity Elements above, each amenity center. must include four (4) of the following elements: a) Additional Required Elements beyond the required amount a)b)Additional mMain aAmenity eElements beyond the required amount. b)c) Decorative objects such as art work or fountains s)a) Additional Playground/Tot let elements a. Activity Panels b.a. Balancing e-a-Glimbing d.a. Fitness e-a-Overhead / Hanging La Sensory g-a-Slides ha_Gwings i.a. Zip Line d) Bocce-Court e) Play or practice sports field f) Bath house g)d)Enhanced trail head access or facility (column with signage) h)e)Fitness Station(s) i)f) Picnic Tables i)g) Dog Parks k)h)Educational / Historic Displays 4)i) Electricity Charging Station (Solar or electrical)) m)j) Other Amenities with City Council approval n)k)Trails (minimum 6' width) (refer to Exhibit D for locations) I) Additional Playground/Tot lot elements Activity Panels Sensory Balancing Slides Climbing Swings Fitness Zin Line

The These community amenity centers may satisfy the neighborhood park 0.5 mile radius requirement.

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Examples of Community Amenity Centers

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This graphic is an artist rendering for conceptual purposes to show what the potential amenity center program elements may be. This does not necessarily depict the project as it may finally be developed and is subject to change.

Amenity Center Phasing:

- One (1) amenity center will be included in the first phase of the development. The amenity center must be completed within 270 days after the 300th residential home permit is issued by the City.
- A second amenity center must be completed within 270 days after the 2,000th residential home permit is approved by the City.
- 3. A third amenity center must be completed within 270 days after the 4,000th residential home permit is approved by the City.
- 4. A fourth amenity center must be completed within 270 days after the 6,000th residential home permit is approved by the City.

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C. Multi-family Developments

Each multi-family development must provide a dedicated amenity area for their residents. The amenity area must include at least 1 of the program elements for each 150 units or fraction thereof:

- a) Outdoor living area such as a fire pit, fire place or barbeque/cooking area with seating.
- b) Sport courts (bocce, pickle ball, tennis, basketball, etc.)
- c) Cabana or other shade/picnic pavilion
- d) Community pool or spray park
- Play or practice sports fields (If intended for play fields, soccer fields will include goals, baseball fields will include a backstop)
- f) Playground or tot lot with three (3) or more of the following elements
 - a. Activity Panels
 - b. Balancing
 - c. Climbing
 - d. Fitness
 - e. Overhead / Hanging
 - f. Sensory
 - g. Slides
 - h. Swings
 - I. Zip Line

D. Neighborhood Parks (22 acres minimum)

A minimum of 13 neighborhood parks totaling at least 22 acres in size must be provided in Emory Lakes so that Feach single family residence must be located within a 0.5 miles radius of a neighborhood park area. At least 11 of the parks must be at least 1.0 acre in size and at least 2 parks must each be at least 5.0 acres in size. Each single family residence must be located within a 0.5 miles radius of a neighborhood park area. All aneighborhood parks area mmust be

at-least-0.50 acres in size and must include the following amenities and/or elements:

- a) Landscaping
- b) Sodded grass
- c) Irrigation for all plant material
- d) Walkways
- e) Seating (individual seats, benches and/or gliders)
- f) Bike Racks
- g) Water Fountains for humans and pets
- h) Pet waste station
- i) Trash receptacle(s)
- j) Playground with at least two (2) of the following elements :
 - a. Activity panels
 - b. Balancing
 - c. Climbing
 - d. Fitness
 - e. Overhead/ Hanging
 - f. Sensory
 - g. Slides
 - h. Swings
 - i. Zip line

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k) At least one (1) ADA accessible amenity

In addition to the required elements, each Neighborhood Park shall include at least three (3) of the following amenities:

- a) Natural water feature, lakes, streams, etc.
- b) Decorative objects such as art work or fountains
- c) Club house

d) Bath house

e)d)Restrooms

fe) Cabana or other shade/picnic pavilion

g)[]Community pool or spray park

h)g)Sports or multi-purpose fields

i)h) Sports courts (bocce, pickle ball, tennis, basketball, etc.)

- J) Outdoor living area such as a fire pit, fire place or barbeque/cooking are with seating bit Elements to the seating (a)
- k)i)_Fitness station(s)

Hk)_Community garden (vegetable and/or flower) with water

m) Drinking fountain

n)]] Dog park

o)m) Educational/ Historical Display

p)n) Other Amenities with City Council approval

Enhanced hardscape areas, such as plazas, in a non-residential development can count as the neighborhood park area if the design is intended as a hardscape plaza or gathering area and the area is at least <u>1.00.50</u> acres in size, excluding any vehicular driving areas, and has some landscaping (trees, planters, etc.).

Neighborhood parks shall be designed as a complementary component of the Emory Lakes amenities program, including consideration of alternative uses, and the use of compatible materials (hardscape, landscape and, if included, lighting). These parks are to be integrated within the open space system as well as the neighborhoods that they serve. Each park should have a variety of amenities and should not be the exact same amenities provided within other neighborhood parks within a 1 mile radius.

All neighborhood parks will be maintained by the HOA.

Neighborhood Park Phasing:

- 1. At least one (1) neighborhood park will be included in the first phase of the development
- A neighborhood park at least 5.0 acres in size must be completed before the 1,000th

residential home permit is approved by the City.

 An additional neighborhood park at least 5.0 acres in size must be completed before the 4,000th residential home permit is approved by the City. Formatted: Underline

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E. Public Park Land Dedication

All development in Emory Lakes must comply with the City of Waxahachie Park Land Dedication and Park development regulations found in Section 4.4 of the Waxahachie Subdivision Ordinance as amended with the following exceptions:

- a. The neighborhood parks and community amenity centers defined above in section 5.2 of the PD counts towards the total park land dedication requirement, regardless if the neighborhood parks are Home Owners Association (HOA) or city owned and maintained.
- b. The project wide Park Land dedication will be tracked and summarized at each Residential Initial Plat and/or detailed site plan submittal. A summary chart of park land requirements for any previous submittals and the park land requirement for the current submittal will be summarized along with any previous or current park land dedications. Any park land dedication area larger than what is required for Residential Initial Plat and/or detailed site plan submittal will be carried over to future detailed site plans.
- c. Public Park Land must be deed restricted as a park facility.
- Any area dedicated as Public Park Land must be developed per the City of Waxahachie design standards.
- F. Master Trails & Open Spaces

Refer to Exhibit D: Master Trails and Open Spaces for the general locations of neighborhood parks and trail connections. The <u>park se</u>-locations are flexible so long as each residence follows the distance requirement in section 5 of the PD.

The Trail system will include at least 245 miles of interconnected trails including trails/sidewalks along roads, off-road concrete trails and natural trails. The following minimum trails must be provided through the project:

-Roadside & Offroad Trails:

- a. A minimum of 10 miles of sidewalk/trails at least 10 ft. wide and made of concrete. b. A minimum of 5 miles of sidewalk/trails at least 8 ft wide and made of concrete
- c. A minimum of 10 miles of sidewark/trails <u>A trail must be at at least 6 ft, wide and made</u>
- d. A minimum of 5 miles of sidewalk/trails at least 5 ft wide and made of natural material (mulch, crushed granite, dirt)

<u>At least 5 miles of the 15 miles must be a minimum 8 ft, wide construct trail. Additionally, trailhead locations at key locations such as amenity sites and at schools, to include trail maps, bike racks, and site furnishings (trash, seating) will be provided.</u>

The trails delineated in Exhibit D: Master Trails and Open Spaces will be developed when the adjacent land is developed.

Regional Trail connection

The Emory Lakes trail system will connect to the Waxahachie Regional trail network located at the northeastern property boundary. Emory Lakes will include a public sidewalk easement and Formatted: Underline

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build the portion of the regional trail that is on the Emory Lakes Property, as shown on the SRA Midlothian to Waxahachie Regional Trail Plan, dated July 2019.

The Trail system will include at least 16 miles of interconnected trails. A trail must be at least 6 (s. wide and made of concreate surface. At least 5 miles of the 15 miles must be a minimum 8 ft, wide concrete trail. Additionally, trailhead locations at key locations such as amonity sites and at schools, to include trail maps, bike racks, and site furnishings (trash, seating) will be provided.

The trails delineated in Exhibit D: Master Trails and Open Spaces will be developed when the adjacent land is developed.

G. Community Entries

Major points of entry into Emory Lakes (minimum of four locations) will be defined with a combination of monument signage, landscape and lighting to create a sense of arrival commensurate in scale and character with a 2,813 acre master planned community (see Exhibit I: Master Signage Plan)

These entries will include:

- Community name / logo incorporated into monument signage element, to be constructed of masonry or similar material;
- Enhanced landscape, including seasonal color, shrubs, groundcover, perennials and unique combinations of both canopy and ornamental trees;
- Enhanced lighting on the monument / signage and the unique aspects of the landscape;

Landscape easements will be provided to ensure adequate space to provide for visibility triangle(s) and adequate development of entry design.

Additional community entries will be similar to the major community entries in their use of compatible building and landscape materials, but will be smaller in scale and land area. They will occur at the outside edges of Emory Lakes, at the entries for either arterials or collectors into the community and will include the same elements as the Primary Entries.



H. Neighborhood Entries

Internal to Emory Lakes and along both arterials and collectors, points of intersection will be enhanced to denote entries into individual 'villages' or neighborhoods. These entries will resemble primary and secondary entries in their use of materials and landscape, but will also incorporate village or neighborhood names and will contribute to a unique, community-wide system of visual way finding.

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Examples of Neighborhood Entries

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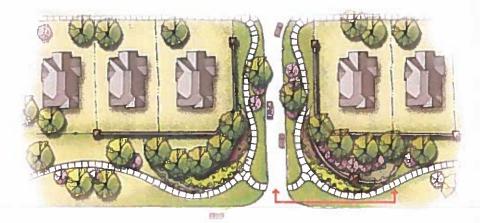




I. Thoroughfare Landscape Buffers

Thoroughfares will provide a continuity of design from primary and secondary points of community entry throughout the entirety of Emory Lakes. These thoroughfares and the adjacent landscape buffers are detailed in Section 6.

Examples of Thoroughfare Landscape Buffers



J. Maintenance

Neighborhood parks and open spaces will be developed at the time the adjacent development occurs. A HOA will be established to maintain all parks and open spaces within Emory Lakes unless otherwise agreed to by the City of Waxahachie.

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SECTION 6: LANDSCAPING & BUFFERS

The landscaping design within Emory Lakes open spaces and development tracts will follow the City of Waxahachie ordinance Section 5.04 with the following exceptions.

Street Trees

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Each single family residential lot, multi-family development or non-residential development must have at least one (1) street tree of a minimum four (4) inch caliper for each thirty (30) linear feet of street frontage or a fraction thereof. The street tree may be located between the building and the ROW (within the building setback) or within the street parkway.

Any existing trees meeting the minimum caliper inch preserved on the lot will count towards this requirement.

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Screening/Buffer Yards

The City of Waxahachie Zoning Ordinance Section 5.03(e) and Section 5.04(g), excepting 5.04(g)(iii) and (v), and the City of Waxahachie Subdivision Ordinance Section 5.7(a)(1) is revised to include the following alternatives in lieu of the buffer requirements identified in the City of Waxahachie zoning ordinance. Refer to Exhibit E: Screening Plan, the following screening requirements must be met:

 For lots along a thoroughfare with ROW Eight (80) feet in width or larger:

 Screening Option 1;
 not permitted

 Screening Option 2;
 permitted

 Screening Option 3:
 permitted

Primary Screening Areas as indicated on Exhibit E: Screening Plan.

When a residential or non-residential use abuts a roadway-indicated with primary screening on **Exhibit 5: Screening Plan**, one (1) of the following screening treatments must be provided (this is required when an alley is located between the rear or side of a land use and the primary-screening thoroughfare):

 For lots along a thoroughfare with ROW less than Eight (80) feet in width)Primacy-Screening -Option

 <u>4-:</u>

 Screening Option 1:
 permitted

 Screening Option 2:
 permitted

 Screening Option 3:
 permitted



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Primary Screening Option 1

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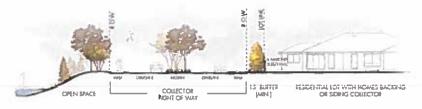
Must include a minimum fifteen (15) foot landscape buffer with the following:

- a. Masonry Screenwall: must be at least six (6) feet in height with an enhanced column at least 24 inches in width and depth and at least six (6) feet in height, constructed of brick and/or stone laid up unit by unit and set in mortar and must be constructed on average of one (1) column for every 50 linear feet of wall length. Stone is an approved material and brick colors must be earth tone colors such as tan, brown, light gray or red. The screening will be maintained by the HOA
- b. Canopy Trees

One (1) canopy tree at least three (3) caliper inches, planted for every fifty (50) linear feet (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.

c. Evergreen or Ornamental Trees

One (1) evergreen or ornamental tree, at least six (6) feet in height, planted for every twenty-five (25) linear feet (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.



Example of Primary Screening Option 1



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Primary Screening Option 2

Must include a minimum forty (40) foot landscape buffer with the following:

- a. Landscape berms of at least three (3) feet in height
- b. Board on board wood fence, at least six (6) feet in height, with metal posts and decorative wood cap or an ornamental metal fence at least 6' high with a solid shrub row of planting within 3' of the fence. An enhanced column at least 24 inches in width and depth and at least six (6) feet in height, constructed of brick and/or stone laid up unit by unit and set in mortar and must be constructed on average of one (1) column for every 100 linear feet of wall length. Metal posts must not be visible from the major street (the street with the widest ROW). The fencing will be maintained by the HOA.
- c. Canopy Trees

One (1) canopy tree at least three (3) inch caliper inches, planted for every forty (40) linear feet (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.

d. Evergreen or Ornamental Trees

One (1) evergreen or ornamental tree, at least six (6) feet in height, planted for every twenty (20) linear feet (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.



Examples of landscope buffers with landscoping, berms and decorative wood fence sotback at least 40 ft. from the roadway.



Examples of decorative wood fences with decorative wood caps and metal posts not visible from the street. Formatted: Indent: Left: 0"

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Example of Primary Screening Option 2



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Primary Screening Option 3

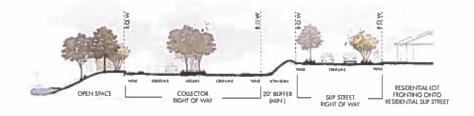
In residential neighborhoods, design a neighborhood 'slip' street between the residential units and the thoroughfare with at least twenty (20) feet between the residential slip street ROW and the primary screening thoroughfare ROW:

- d. Landscape berms of any height
- e. Canopy Trees

One (1) canopy tree at least three (3) inch caliper inches, planted for every fifty (50) linear ft. (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.

f. Evergreen or Ornamental Trees

One (1) evergreen or ornamental tree, at least six (6) feet in height, planted for every fifty (50) linear feet (ratio is average and trees can be planted in clusters so long as the ratio is met) of roadway for the landscape buffers.



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Example of Primary Screening Option 3



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Examples of a slip street with lats facing onto a collector roadway.



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No screening is required in the following locations:

 When the land use is an open space, recreation center/club house, or any other recreational use so long as no dumpsters, outside storage or loading areas are visible from the primary thoroughfare.

Screening of dumpsters, outside storage or loading areas

1. In all Multi-family and Non-Residential Districts, the screening of dumpsters, outside storage areas and loading areas must follow the City of Waxahachie screening and design requirements for dumpsters, outside storage and loading areas.

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SECTION 7: PARKING REQUIREMENTS

All off-street parking & loading must comply with the City of Waxahachie Zoning Ordinance, Section 5.02 except the following:

a. Head -in and parallel parking is allowed in the MFR, MU-R & MU-N districts.

- b. On-street parking can be counted towards the off-street parking requirements for non-residential uses in any of the PD districts. On street parking cannot count for more than 20% of the overall required parking and any on street parking that is credited towards the required parking must be labeled on the Residential Initial Plat and/or Detailed Site Plan. A parking stall may not be used for credit on more than 1 land use.
- c. Single family parking requirements:
 - a. For front garage lots, at least 2 enclosed parking stalls must be located behind the front building line on the same lot as the main structure.
 - b. For alley lots, at least 2 parking stalls must be behind the front building plane and must be enclosed in a garage.
- d. Only in the Town Center Overlay Area, parking lots are allowed to encroach into the landscape buffers or yard setbacks for the side, corner or rear yards but the edge of parking lots must be at least five (5) ft. from the public Right-of-way. Parking lots may not encroach into the front yard setback.
- e. Compact car parking spaces
 - a. Are allowed in the MFR, MU-R & MU-N districts
 - A maximum of ten percent of required parking may be designed for compact cars only in the Town Center Overlay Area.
 - c. A compact car space is defined as a minimum of 8'x16' and must be identified by signage ----
 - d.__Must be located along the outer perimeter of the parking lot and the end of the stall must be adjacent to a minimum 1.5 ft. wide landscape area or gravel/clear zone.

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SECTION 8: ROADWAY DESIGN

a. Traffic Circles (Round-a bouts)

Traffic circles are allowed with the approval of location and design by the City Engineer
 Street widths

a. All public streets shall follow the standard street designs identified in, Exhibit G: Street Sections c. Roadway layout and configurations:

- a. Refer to Exhibit F: Thoroughfare Plan for general types and locations of the various public streets. The locations are general and may revise so long as the overall connection points along the perimeter are followed.
- d, Cul-de-sacs
 - a. Cul-de-sacs shall be no more than 800 ft. long measured along the centerline of the roadway from the center point of the cul-de-sac turn around to the centerline of the intersection street. Any cul-de-sac longer than 600 ft. must be approved by the City of Waxahachie Fire Department The cul-de-sac right-of-way must be at least 105 ft. in diameter
 - <u>Cul-de-sacs are not allowed within the Traditional Neighborhood Design (TND) area without City</u> staff administrative approval.
 - a.c. Cul-de-sacs are discouraged in the SF Districts and should only be used in situations where adjacent floodplain or thoroughfares or areas of severe slopes restrict the layout of the residential neighborhood design.
- e: Sidewalks
- <u>a.</u> Refer to the street sections for sidewalk sizes and locations.

a.f. No street connections are permitted to tie into Brookside Lane.

SECTION 9: ENTRY FEATURES

The project will include various development monument entry signs, neighborhood monument entry signs located at various perimeter entrances and neighborhood entries. All monument entry signs in project will not be restricted on height or size so long as they follow the Waxahachie building code and are outside of any visibility clips located at the intersections (as defined by City of Waxahachie Zoning & Subdivision Ordinances). Monument entry signs may be developed on and off property. Refer to **Exhibit I: Master Signage Plan** for the location and general design of the development entry features.

SECTION 10: ARCHITECTURAL DESIGN

Refer to the Development Agreement for Architectural standards.

Building encroachments into the yard setbacks (all residential and non-residential land uses) The following building elements are allowed to encroach (horizontally) up to ten percent of the yard setback in all PD districts, so long as at least 8 ft. vertical clearance is provided above any sidewalk or pedestrian area:

a. Stoops

Page 51 a 1/02/01/05/4 temp rank/201 moltanis/a 2011 controlmer/2011. downsormer provided, new 22010/102/4 temps on Papi app and temp Formatted: Numbered + Level: 1 + Numbering Style: a, b, c, ... + Start at: 1 + Alignment: Left + Aligned at: 0" + Indent at: 0.25"



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Emory Lakes

- b. Building signs

Page 52

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- c. Awnings d. Bay windows
- e. Porches (per the porch front yard setback in section 3)
 f. Building lights

Walton" MESA

December 2020March 2021

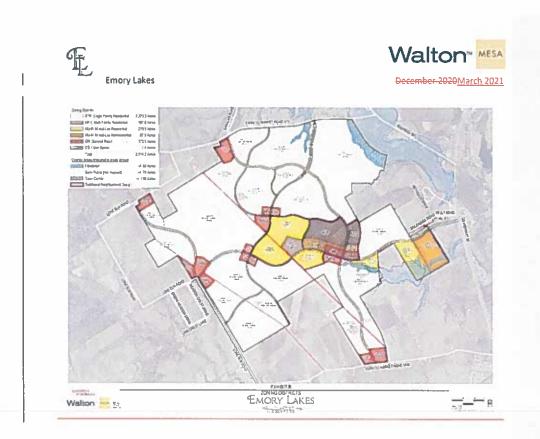


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Exhibit B: Zoning Districts

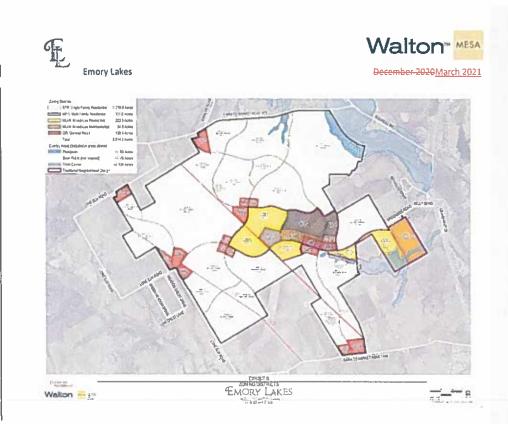


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Exhibit C: Permitted Land Uses

							7 0					-	-	
LEG P - Perm		ZONING DE SF – Single-Family				-1-+								
S - Use may be a			via SU	p			MF – Multi-Family							
- Prohi			114 30				MU-R – Mixed Use Residential District						- 1	
							MU-N – Mixed Use N						- 1	
							GR – General	Reta	il Dis	trict				
							0 – Open S	pace	Distr	ict				
					Resid	entia	Type Uses							
Land Use	SFR	MF	MU- R	MU- N	<u>GR</u>	GR Q	Land Use	SFR	MF	MU- R	MU- N	SR.	۹Į	ormatted Table
Bed and Breakfast Inn	s	s	5	s	<u>5</u>	8	Multiple-Family Dwelling or Apartment		ρ	5	5			
Boarding House or Home		ρ					Single-Family Dwelling, Attached (Townhouse or Townhome)		P	S	s	Ī		
Dormitory		P	2		5	5	Single-Family Dwelling, Detached	₽		P	Ρ			
Fraternity or Sorority House	S	P					Two-Family Owelling (Duplex)		Р			П		
Home Occupation	P	р	Р	ρ			Accessory Building, MF or Non-Residential		Ρ			2	5	
Housing for the Elderly/ Senior Apartments		Р			52	s	Accessory Building (Residential), Less than 700 S.F.	P						
HUD Code Manufactured Home				_			Accessory Building (Residential), Greater than or Equal to 700 S.F.	s						
HUD Code Manufactured Home Park							Accessory Building, Used as a Dwelling Unit	s						
Mobile Home							Garage Accessory Dwelling	5						
Mobile Home Park							Caretaker's or Guard's Residence			S	s			
Modular Prefabricated Structure or Modular Home	Ρ	ρ					Stables, Private	5						
			Educ	ation	al, In:	stitui	ional & Special Uses							
Land Use	SFR	MF	MU- R	MU- N	GR	QG R	Land Use	SFR	MF	MU- R	MU- N	<u>SR</u>	ះ	ermatted Table
Adult Daycare Facility					P	þ	Hospital, Acute Care	S	S			ŝ	<u>s</u>	
Art Gallery or Museum	S	S	P	Р	P	р.	Hospital, Chronic Care		S		5	<u>5</u>	<u>\$</u>	
Cemetery, Animal							Household Care Facility	S	S	S				
Cemetery or Mausoleum	s				<u>\$</u>	s	Institution for Alcoholic, Narcotic, or Psychiatric Patients							
Child Advocacy Center	S	s			P	P	Institution of Religious or Philanthropic Nature	5	5			E	P	
Child Daycare Center			P	P	<u>P</u>	P	Jail or Prison							
Church, Rectory, or Temple	Ρ	P	Р	P	P	₽	Juvenile Detention Center					5	8	

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Emory Lakes



December 2020March 2021

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College or University	s	s			<u>P</u>	8	Kindergarten or Nursery School, Private	s	S			P	P	
Community Home	Р	P			<u>5</u>	5	Private Recreation Facility	Р	Ρ	Р	ρ			
Crematorium					<u>P</u>	р	Public Community Center	P	P			<u>P</u>	<u>р</u>	
Day Camp for Children	S	5			<u>P</u>	p	Rehabilitation Care Facility or Halfway House			s	5	<u>2</u>	5	
Fairgrounds, Rodeo Grounds or Exhibition Area					<u>s</u>	s	Residential Home for Adults with Intellectual and Developmental Disabilities		s					
Family Home (Child Care)	5	S					School, Private	S	5			5	5	
Farm, Ranch, Garden, or Orchard	Р	Р	P	Р	P	4	School, Public	р	р	Р	Р	P	р	
Fraternal Organization	S	S			P	4	School, Vocational					2	P	
Home for Aged, Residence (Assisted Living)	s	Р			5	5	Skilled Nursing Facility					5	s.	
			C	omm	ercial	and	Retail Type Uses							
Land Use	SFR	MF	MU- R	MU- N	GR	QG R	Land Use	SFR	MF	MU- R	MU- N	S A	2 Formatte	d Table
Airport	S	S			<u>s</u>	s	Helistop					<u>5</u>	5	
Alternative Financial Services							Household Appliance Service or Repair					<u>P</u>	p.	
Ambulance Service							HUD Code Manufactured Home Display or Sales							
Amusement, Indoor			P	P	P	₽	Klosk			S	S	5	5	
Amusement, Outdoor		_			<u>P</u>	R	Laboratory, Medical or Dental			S	S	-		
Animal Hospital or Kennel, Indoor Pens					<u>P</u>	P	Laboratory, Scientific or Research			S	S			
Animal Hospital or Kennel, Outdoor Pens					5	5	Landscape Sales and Installation					st	8	
Animal Pound							Laundromat					P	P	
Antique Shop			Р	Р	<u>P</u>	р	Massage Establishment					P	P	
Appliance Rental, Service or Repair					£	p	Massage Parlor							
Arcade			Р	P	<u>5</u>	s	Medical Appliance Fitting or Retail Sales					£	P.	
Auto Leasing and Rental					<u>5</u>	5	Medical Facilities			S	S	<u>S</u>	5	
Auto Parking Lot, Commercial			S	S	<u>5</u>	5	Metal Recycling Center					<u></u>	\$	
Auto Parking Lot, Trucks and Trailers							Micro-Brewery			s	s	<u>s</u>	\$	
Auto Parts and Accessory Sales				Ρ	<u>5</u>	s	Mini-Warehouse or Self- Storage Facility					<u>5</u>	5	
Auto Racing or Go-Cart Track							Motel or Hotel (Less than 75 Rooms)			ρ	ρ	P	р.	
Auto Repair, Major							Motel or Hotel (More than 75 Rooms)			₽	Ρ	<u>P</u>	р.	
Auto Repair, Minor or Automotive Care Center					5	8	Office, Professional and Administrative			р	P	<u></u>	μ	
Auto Sales, New			1	1	P		Outside Display			S	5	S	5	

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December 2020March 2021

Auto Sales, Used					S	5	Outside Storage			s	S	<u>S</u>	s
Auto Storage or Auto Auction					-		Park or Playground, Private	P	Ρ	P	P	<u>S</u>	<u>P</u> S
Auto Wrecking Yard							Pawn Shop					<u>s</u>	Ş
Bail Bond Agency							Pet Shop and Grooming			Р	P	<u>P</u>	P
Bakery, Commercial							Pharmacy			Р	P	P	P
Bakery, Retail			P	P	P	P	Playfield or Stadium, Public	S	S			<u>S</u>	Ş
Bank or Credit Union			P	P	<u>P</u>	4	Portable Building Sales					<u>\$</u>	5
Boat Sales							Private Club			5	S	<u>s</u>	8
Building Materials and Hardware Sales, Indoor					P	β	Railroad Freight Depot						
Building Materials and Hardware Sales, Outdoor					ş	5	Restaurant			P	P	P	9
Bus Station or Terminal					<u>\$</u>	8	Retail Stores and Shops			P	P	P	P
Cabinet or Upholstery Shop							RV Sales						
Car Wash					<u>\$</u>	S	Screen Printing Shop					P	F
Clinic, Dental, Medical, or Chiropractic			Ρ	Р	P	₽	Sexually Oriented Business					Ī	
Convenience Store			S	5	<u>\$</u>	S	Small Engine Repair Shop						
Copy or Print Shop			Р	P	P	₽	Specialty Paraphernalia						
Country Club, Private	S	S			P	₽	Stables, Public						
Custom Personal Service Shop			Р	P	<u>P</u>	4	Studio			P	Р	P	1
Drive-Through Establishment					<u>s</u>	5	Surgical Outpatient Facility			S	5	<u>S</u>	1
Dry Cleaning Establishment, Off-Site			P	Р	<u>P</u>	p	Swimming Pool, Commercial					<u>\$</u>	1
Dry Cleaning Establishment, On-Site							Tattoo or Body Piercing Shop						
Feed and Grain Store							Tavern			S	S	<u>5</u>	Ę
Flea Market or Farmers Market							Theater, Indoor			P	P	<u>P</u>	1
Funeral Home or Mortuary			S	5	P	₽	Tire Installation or Repair			S	Р	5	1
Furniture Manufacture and Refinishing Shop							Tool and Equipment Rental					P	1
Gasoline Sales			5	5	<u>s</u>	s	Trailer and Heavy Load Vehicle Repair						
Golf Course	s	5			<u>5</u>	ş	Trailer or Truck Sales or Rental						
Greenhouse, Nursery, Florist or Garden Shop			Р	P	<u>s</u>	s	Truck Stop						
Hauling, Storage, or Motor Freight Terminal							Winery			s	5	P	1
Heating and Air Conditioning Sales							Zoo, Private						
Heavy Machinery and Equipment, Rental, Sales or Storage							Zoo, Public						

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December 2020March 2021

Land Use	SF R	MF	MU- R	MU- N	GR	<u>0</u> 6 8	Land Use	SFR	MF	MU- R	MU-	-58	Formatted Table
Animal Production Facility	-	-	-	- 19			Local Utility Lines	Р	Р	P	P	P	P
Antenna, Non-Commercial	P	P	Ρ	P	P	р.	Machine Shop or Welding Shop					-	
Batch Plant (Permanent Facility)							Medium Manufacturing, Fully Indoor						
Chemical Plant							Medium Manufacturing, Outdoor						
Electrical Generating Plant					<u>5</u>	s	Municipally-Owned Facilities and Uses	P	Р	Ρ	P	P	P
Equipment Sales, New or Used							Noxious Uses						
Food Manufacturing or Processing Plant							Portable Storage Structure or Temporary Building	P	Ρ	Р	Р	<u>P</u>	P
Franchised Private Utility (Not Listed)	s	5	s	s	<u>\$</u>	s	Public Building, Shop, or Yard of a Local, State, or Federal Agency					<u>\$</u>	5
Heavy Manufacturing, Fully Indoor							Public or Private Utility Shop or Storage					1	
Heavy Manufacturing, Outdoor							Railroad Track						
Landfill							Sand, Gravel, Stone or Petroleum Extraction	Р	Ρ	Р	Р	<u>P</u>	p _
Light Manufacturing				5		-	Storage Warehouse						
			Ac	cesso	ry, in	cide	ntal and Sign Uses					100	
Land Use	SFR	MF	MU- R	MU- N	GR	<u>Q</u> ⊊ _8	Land Use	SFR	MF	MU+ R	MU- N	<u>GR</u> +	Formatted Table
Awning Sign			P	Р	P	4	Pole Sign						
Canopy Sign			P	P	P	4	Portable Sign		Ρ	Р	Ρ	P	()
Development Sign	P	P	Р	Р	<u>P</u>	<u>P</u> P	Real Estate Sign	P	Ρ	Р	Ρ	P	P
Directional Sign (On-Site)		Ρ	Р	Ρ	<u>P</u>	<u>P</u> P	Searchlights					P	
Electronic Message Sign			5	S	<u>5</u>	S.	Small Wind System	S	S	S	S		
Garage Sale Sign	Ρ	Р			<u>₽</u>	₽	Solar Panel Farm						
Informational Sign	Р	P	P	Р	<u>P</u>	p	Solar Panel System, Large In- Ground						
Institutional Sign	Р	P	Р	Р	<u>P</u>	₽	Solar Panel System, Rooftop	S	S	S	S	5	8
Model Home Sign	Р	Р	Р	Р			Solar Panel System, Small In- Ground	s	s			<u>5</u>	5
Monument Sign		Ρ	P	P	P	<u>P</u> P	Unified Lot Sign	S	S	5	S	2	5
Name Plate	P	Р	Р	P	P	₽	Wall Sign			P	Р	E	P
Off-Street Parking Incidental	Ρ	Р	Р	Р	P	р.	Window Sign			Р	Р	P	P

Page 60 deservoir end standards

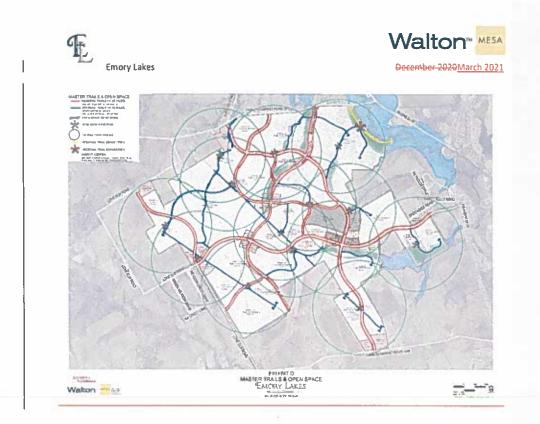


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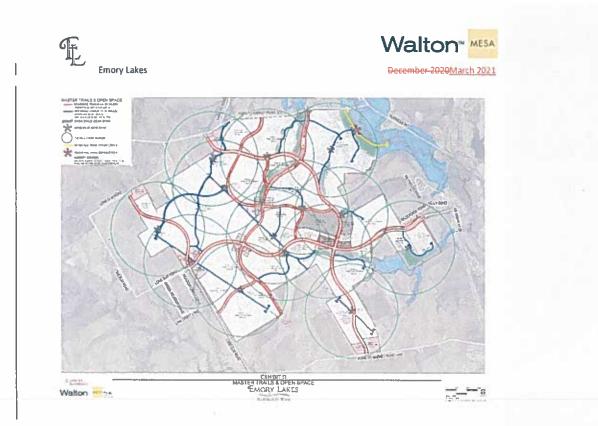


Exhibit D: Master Trails & Open Space

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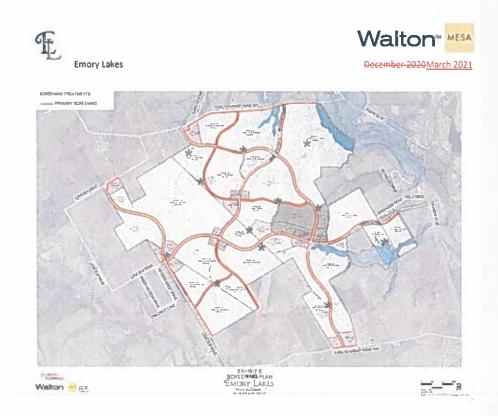
Exhibit E: Screening Plan



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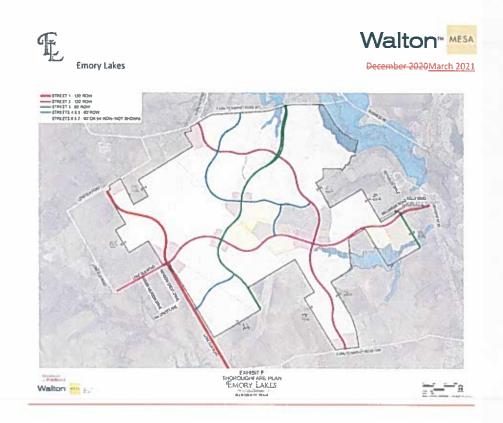
Exhibit F: Master Thoroughfare Plan



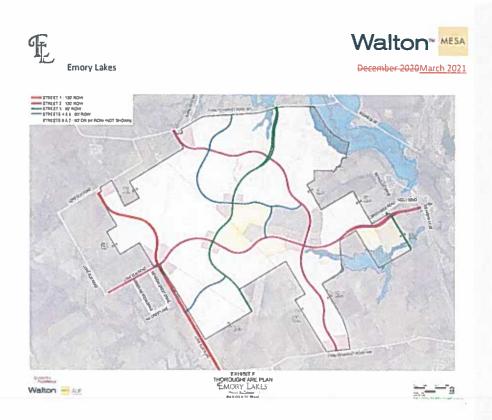
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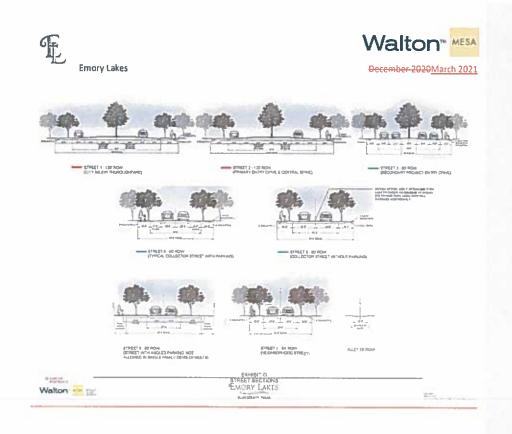
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Exhibit G: Street Sections



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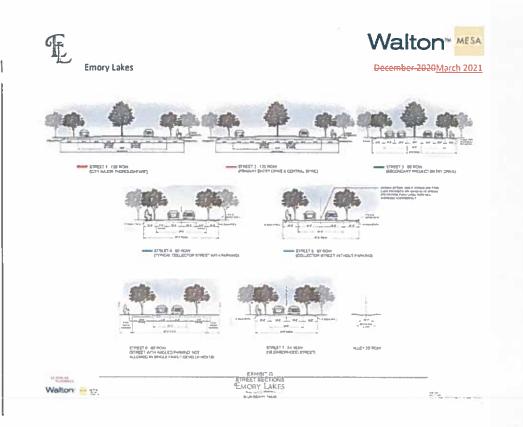


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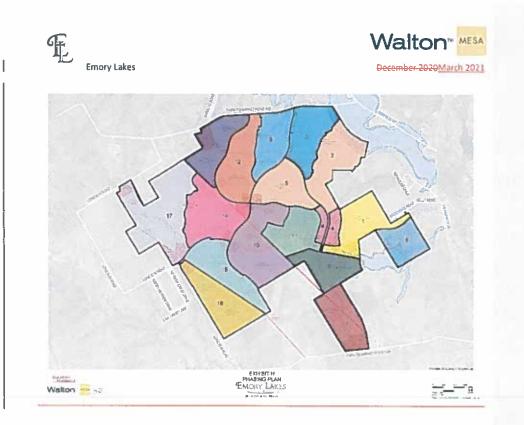
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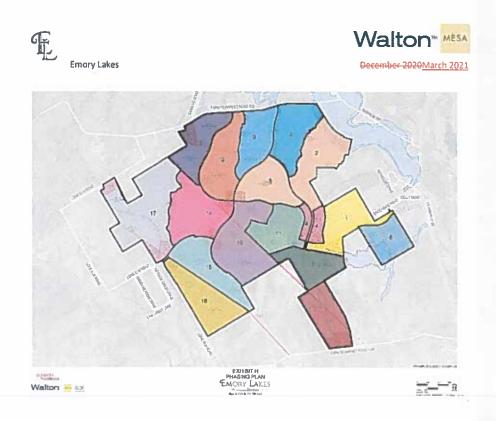
Exhibit H: Phasing

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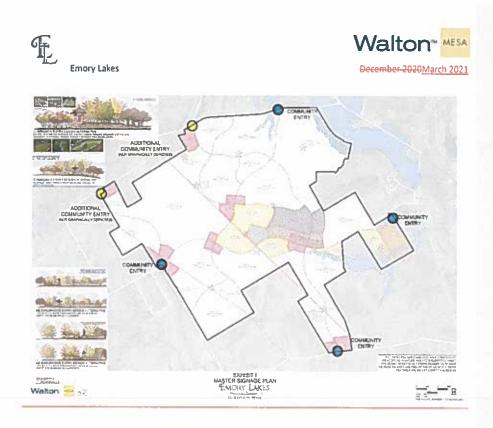
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Exhibit I: Master Signage Plan



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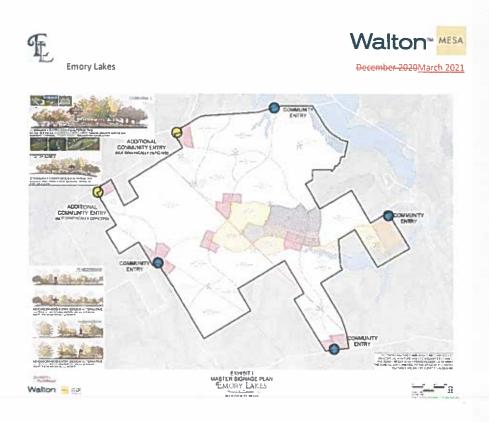


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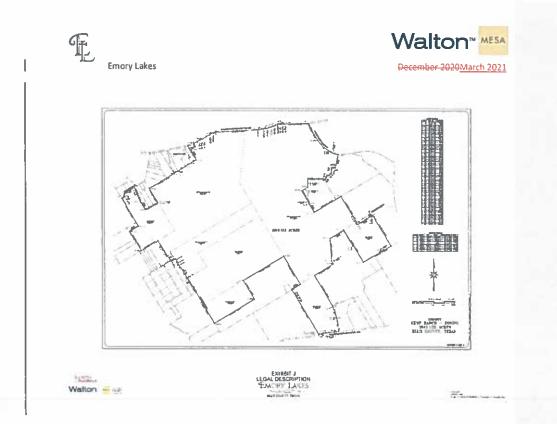
Exhibit J: Legal Description

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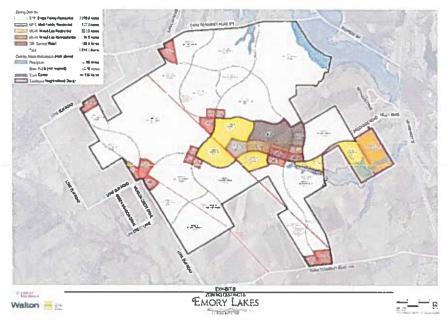
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EXHIBIT J EMORY LAKES – ZONING OF 2812.122 ACRES LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, situated in a portion of the J. Barker Survey, Abstract No. 40, the E. Bellow Survey, Abstract No. 101, the E. H. Belcher Survey, Abstract No. 143, the J. Drinkard Survey, Abstract No. 273, the J. J. Davidson Survey, Abstract No. 302, the J. Fifer Survey, Abstract No. 351, the M. Myers Survey, Abstract No. 714, the J. E. Prince Survey, Abstract No. 845, the J. C. Reed Survey, Abstract No 904, and the B. Wiltshire Survey, Abstract No. 1132, Ellis County, Texas, being a part of that certain called 681.000 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1526274 of the Deed Records of Ellis County, Texas (DRECT), a part of that certain called 1040.641 acre tract describe



d in a deed to Walton Texas, LP recorded in Instrument No. 1532148 (DRECT), all of that certain called 117.601 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1532149 (DRECT), all of that certain called 141.524 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1532150 (DRECT), all of that certain called 182.727 acre tract and 99.991 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1515578 (DRECT), all of that certain called 398.282 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1515579 (DRECT), all of that certain called 151.499 acre tract described in a deed to Walton Texas, LP recorded in Instrument No. 1616460 (DRECT), and being more completely described as follows, to-wit:

BEGINNING at a 1/2" iron rod found for a Northwest corner of said 681.000 acre tract, the Northeast corner of a called 1.725 acre tract described in a deed to Patricia L. Knight recorded in Volume 2273,



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Page 384 (DRECT), and being in the South right-of-way line of Farm to Market Highway No. 875 (80' right-of-way width at this point);

THENCE North 59 deg. 54 min. 04 sec. East along the North line of said 681.000 acre tract and said South right-of-way line, a distance of 465.52 feet to a 5/8" capped iron rod found stamped "TXDOT ROW";

THENCE North 59 deg. 02 min. 19 sec. East along said North line and South right-of-way line, a distance of 3.64 feet to a 5/8" capped iron rod found stamped "TXDOT ROW" for the most westerly corner of a called 0.5506 acre tract described in a deed to the State of Texas recorded in Instrument No. 1610102 (DRECT);

THENCE North 73 deg. 03 min. 09 sec. East departing said North line and continue along the South line of said 0.5506 acre tract, a distance of 136.77 feet to a 5/8" capped iron rod found stamped "TXDOT ROW";

THENCE North 58 deg. 55 min. 02 sec. East along said South line, a distance of 616.61 feet to a 5/8" capped iron rod found stamped "TXDOT ROW";

THENCE North 49 deg. 56 min. 16 sec. East along said South line, a distance of 111.25 feet to a 5/8" capped iron rod found stamped "TXDOT ROW" for the most easterly corner of said 0.5506 acre tract and being in the North line of said 681.000 acre tract, said point being a Point of Curvature of a non-tangent circular curve to the right, having a radius of 920.72 feet, a central angle of 17 deg. 11 min. 19 sec., and being subtended by a chord which bears North 77 deg. 42 min. 54 sec. East - 275.18 feet;

THENCE in an easterly direction along said curve to the right, the North line of said 681.000 acre tract, and the South right-of-way line of said Farm to Market Highway No. 875, a distance of 276.22 feet to a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL" hereafter referred to as 1/2" capped iron rod set;

THENCE North 86 deg. 18 min. 34 sec. East tangent to said curve and continue along the North line of said 681.000 acre tract, the North line of said 1040.641 acre tract, and said South right-of-way line, a distance of 2836.54 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the left, having a radius of 1504.82 feet, a central angle of 13 deg. 38 min. 10 sec., and being subtended by a chord which bears North 79 deg. 29 min. 29 sec. East - 357.29 feet;

THENCE in an easterly direction along said curve to the left, the North line of said 1040.641 acre tract, and said South right-of-way line, a distance of 358.14 feet to a 5/8" capped iron rod found stamped "TXDOT ROW" for the most westerly corner of a called 0.5877 acre tract described in a deed to the State of Texas recorded in Instrument No. 1610103 (DRECT);

THENCE North 82 deg. 03 min. 21 sec. East departing said North line and continue along the South line of said 0.5877 acre tract, a distance of 204.72 feet to a 5/8" capped iron rod found stamped "TXDOT ROW":

THENCE North 72 deg. 11 min. 49 sec. East along said South line, a distance of 286.37 feet to a 5/8" capped iron rod found stamped "TXDOT ROW";

THENCE North 72 deg. 42 min. 49 sec. East along said South line, a distance of 212.71 feet to a 5/8* capped iron rod found stamped "TXDOT ROW";

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THENCE North 67 deg. 28 min. 44 sec. East along said South line, a distance of 236.30 feet to a P.K. nail with washer stamped "PROPOSED ROW" for the most easterly corner of said 0.5877 acre tract and being in the North line of said 1040.641 acre tract, said point being a Point of Curvature of a non-tangent circular curve to the right, having a radius of 2251.83 feet, a central angle of 2 deg. 53 min. 58 sec., and being subtended by a chord which bears North 80 deg. 25 min. 36 sec. East - 113.94 feet;

THENCE in an easterly direction along said curve to the right, the North line of said 1040.641 acre tract, and the South right-of-way line of said Farm to Market Highway No. 875, a distance of 113.95 feet to a 5/8" capped iron rod found stamped "TXDOT ROW";

THENCE North 81 deg. 52 min. 35 sec. East tangent to said curve and continue along said North line and South right-of-way line, a distance of 122.75 feet to a 5/8" capped iron rod found stamped "TXDOT ROW", said point being a Point of Curvature of a circular curve to the right, having a radius of 587.69 feet, a central angle of 7 deg. 44 min. 56 sec., and being subtended by a chord which bears North 85 deg. 45 min. 03 sec. East - 79.42 feet;

THENCE in an easterly direction along said curve to the right, continue along said North line and South right-of-way line, a distance of 79.48 feet to a 5/8" capped iron rod found stamped "TXDOT ROW",

THENCE North 89 deg. 37 min. 34 sec. East along said North line and South right-of-way line, a distance of 1554.63 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the left, having a radius of 1931.89 feet, a central angle of 3 deg. 33 min. 59 sec., and being subtended by a chord which bears North 87 deg. 50 min. 35 sec. East - 120.23 feet;

THENCE in an easterly direction along said curve to the left, continue along said North line and South right-of-way line, a distance of 120.25 feet to a 1/2" capped iron rod set for the Northeast corner of said 1040.641 acre tract and being in the West right-of-way line of Union Pacific Railroad;

THENCE South 31 deg. 23 min. 33 sec. East departing said South right-of-way line and continue along the East line of said 1040.641 acre tract and the West right-of-way line of said railroad, being 50 feet west of and parallel to the centerline of said railroad, a distance of 1239.17 feet to a 1/2" capped iron rod set, said point being a Point of Curvature of a circular curve to the left, having a radius of 1959.88 feet, a central angle of 35 deg. 04 min. 26 sec., and being subtended by a chord which bears South 48 deg. 55 min. 46 sec. East - 1181.10 feet;

THENCE in a southeasterly direction along said curve to the left, the East line of aid 1040.641 acre tract, and the West right-of-way line of said railroad, a distance of 1199.75 feet to a 1/2" capped from rod set:

THENCE South 06 deg. 40 min. 05 sec. West non-tangent to said curve, and continue along said East line and West right-of-way line, a distance of 41.76 feet to a 1/2" capped iron rod set, said point being a Point of Curvature of a non-tangent circular curve to the left, having a radius of 1999.88 feet, a central angle of 13 deg. 47 min. 52 sec., and being subtended by a chord which bears South 73 deg. 42 min. 44 sec. East -480.44 feet;

THENCE in a southeasterly direction along said curve to the left, the East line of said 1040.641 acre tract and said West right-of-way line, being 90 feet South of and parallel to the centerline of said railroad, a distance of 481.60 feet to a 1/2" iron rod found for an easterly Northeast corner of said 1040.641 acre tract and in the Northwest line of a called 130 acre tract described in a mechanic's lien to Unity Presbyterian Homes recorded in Volume 912, Page 780 (DRECT);

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THENCE South 12 deg. 25 min. 26 sec. West non-tangent to said curve departing said West right-of-way line, and continue along the East line of said 1010 641 acre tract and the Northwest line of said 130 acre tract, at 852.61 feet pass a $\frac{1}{2}$ iron rod found for reference and continue a total distance of 866.18 feet to a point in the center of a creek;

THENCE in a southerly direction along the East line of said 1040 641 acre tract and the centerline of a creek the following twenty-one (21) courses;

South 55 deg. 57 min. 46 sec. West, a distance of 17.23 feet. South 86 deg, 18 min. 25 sec. West, a distance of 58,99 feet North 73 deg. 07 min. 35 sec. West, a distance of 17.27 feet. South 76 deg. 03 min. 54 sec: West, a distance of 43.90 feet; North 41 deg. 30 min. 44 sec. West, a distance of 25.95 feet: South 55 deg: 27 min. 48 sec. West, a distance of 44.04 feet; South 27 deg. 26 min. 13 sec. West, a distance of 90.38 feet South 01 deg. 57 min. 39 sec. West, a distance of 24 29 feet. South 50 deg. 57 min. 27 sec. West, a distance of 18.98 feet: South 01 deg. 04 min. 18 sec. West, a distance of 39.19 feet; South 12 deg. 28 min. 08 sec. West, a distance of 44.61 feet; South 05 deg. 47 min. 07 sec. West, a distance of 127.56 feet; South 49 deg. 21 min. 10 sec. West, a distance of 117.39 feet; South 35 deg. 47 min. 44 sec. West, a distance of 116.39 feet; South 89 deg. 39 min. 37 sec. West, a distance of 77.26 feet, South 68 deg. 20 min. 54 sec. West, a distance of 53.67 feet, South 02 deg. 00 min: 42 sec. East, a distance of 50.83 feet: South 28 deg. 22 min. 23 sec. West, a distance of 81.53 feet; South 43 deg, 48 min. 28 sec. West, a distance of 90.13 feet; South 30 deg. 56 min. 12 sec. West, a distance of 58.06 feet;

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South 42 deg. 04 min. 17 sec. West, a distance of 51.16 feet to a point for corner for the Northwest corner of said 130 acre tract and being in the Northeast line of a called 60 acre tract described in a deed to T. L. Allen recorded in Volume 227, Page 326 (DRECT);

THENCE North 38 deg, 44 min. 01 sec. West departing said centerline and continue along the East line of said 1040.641 acre tract and the Northeast line of said 60 acre tract, a distance of 107.40 feet to a 1/2ⁿ iron rod found for the Northeast corner of said 60 acre tract;

THENCE South 89 deg. 22 min. 18 sec. West along the East line of said 1040,641 acre tract and the North line of said 60 acre tract, a distance of 1029.07 feet to a 1/2" iron rod found for an ell corner of said 1040,641 acre tract and the Northwest corner of said 60 acre tract, being in the recognized East line of the J. Barker Survey and the recognized West line of the E. Bellow Survey;

THENCE South 01 deg. 10 min. 55 sec. East along the East line of said 1040.641 acre tract and the West line of said 60 acre tract, the recognized East line of the J. Barker Survey, and the recognized West line of the E. Bellow Survey, a distance of 541.96 feet to a 1/2" iron rod found for an ell corner of said 1040.641 acre tract,

THENCE South 58 deg. 40 min. 27 sec. West departing said survey lines and continue along the East line of said 1040.641 acre tract, a distance of 477.57 feet to a 1/2" capped iron rod set;

THENCE South 30 deg. 46 min. 56 sec. East along said East line, a distance of 982.20 feet to a 1/2" iron rod found for an ell corner of same, being in the recognized easterly North line of the J. Barker Survey, and the recognized South line of the E. Bellow Survey;

THENCE South 56 deg. 32 min. 49 sec. West departing said survey lines and continue along the East line of said 1040 641 acre tract, a distance of 16.30 feet to a 1/2" iron rod found for an ell corner of same;

THENCE South 30 deg. 19 min. 20 sec. East along said East line, a distance of 638.29 feet to a 1/2" capped from rod set for an ell corner of same

THENCE North 59 deg. 30 min. 57 sec. East along said East line, a distance of 2071.60 feet to a 1/2" capped iron rod set for an ell corner of same, being in the West line of a called 202.85 acre tract described in a mechanic's lien recorded in Volume 912, Page 780 (DRECT), being the recognized Northwest corner of the J. E. Prince Survey, and a recognized ell corner of the E. Bellow Survey;

THENCE South 30 deg. 39 min. 05 sec. East along the East line of said 1040.641 acre tract, the West line of said 202.85 acre tract, the recognized West line of the J. E. Prince Survey, the recognized South line of the E. Bellow Survey, and the recognized East line of the J. Barker Survey, at 1932.08 feet pass a 1" iron pipe found for reference and continue a total distance of 1963.03 feet to a P.K. nail set with washer stamped "GOODWIN & MARSHALL", hereafter referred to as P.K. nail set, for the Southeast corner of said 1040.641 acre tract and being in the North line of a 25 foot right-of-way dedication of Brookside Drive as shown in the final plat of Brookside Addition recorded in Cabinet B, Page 329 of the Plat Records of Ellis County, Texas (PRECT), also bein the original North line of a called 120.88 acre tract described in a deed to Robert L. Beer recorded in Volume 351, Page 107 (DRECT);

THENCE South 58 deg. 06 min. 39 sec. West along the South line of said 1040.641 acre tract, a distance of 4.14 feet to a P.K. nail set for the Northwest corner of said Brookside Addition and being a North corner of said 117.601 acre tract;

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THENCE South 31 deg. 25 min. 31 sec. East along the North line of said 117.601 acre tract and the West line of said Brookside Addition, at 25.00 feet pass a 3/8" iron rod found for the Northwest corner of Lot 1 of said Brookside Addition, and continue a total distance of 175.01 feet to a 3/8" iron rod found for the Southwest corner of said Lot 1 and being an ell corner of said 117.601 acre tract;

THENCE North 58 deg. 34 min. 29 sec. East along the North line of said 117.601 acre tract, the South line of said Brookside Addition, the South line of a called 0.43 acre tract described in a deed to Monica Davis recorded in Volume 2589, Page 1329 (DRECT), the South line of a called 0.5152 acre tract described in a deed to Shirley Allred recoded in Volume 1550, Page 826 (DRECT), and the South line of a called 0.4309 acre tract described in a deed to Katy R. Ryan and Booby Hopgood recorded in Volume 2512, Page 1420 (DRECT), a distance of 998.69 feet to a 1/2" capped iron rod set for an ell corner of said 117.601 acre tract and the Southeast corner of said 0.4309 acre tract;

THENCE North 31 deg. 25 min. 31 sec. West along a North line of said 117.601 acre tract and the East line of said 0.4309 acre tract, a distance of 150.04 feet to a 1/2" iron pipe found for a North corner of said 117.601 acre tract, the Northeast corner of said 0.4309 acre tract, and being in the South right-of-way line of said Brookside Drive;

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THENCE North 58 deg. 34 min. 29 sec. East along the North line of said 117.601 acre tract and said South right-of-way line, a distance of 40.12 feet to a 1/2" capped iron rod set for a North corner of said 117.601 acre tract and the Northwest corner of a called 0.4312 acre tract described in a deed to Barbara Kay Beer Mouser, et vir recorded in Volume 2100, Page 1456 (DRECT);

THENCE South 31 deg. 25 min. 31 sec. East departing said South right-of-way line and continue along a North line of said 117.601 acre tract and the West line of said 0.4312 acre tract, a distance of 150.04 feet to a 1/2" capped iron rod found stamped "RPLS 4466" for an ell corner of said 117.601 acre tract and the Southwest corner of said 0.4312 acre tract;

THENCE North 58 deg. 34 min. 29 sec. East along the North line of said 117.601 acre tract and the South line of said 0.4312 acre tract, a distance of 125.26 feet to a 1/2" iron pipe found for the Northeast corner of said 117.601 acre tract, the Southeast corner of said 0.4312 acre tract, the Southeast corner of said 0.4312 acre tract, the Southeast corner of a called 0.503 acre tract described in a deed to Robert P. Kelley, et ux recorded in Volume 567, Page 555 (DRECT), and being in the West line of the remainder of a called 125 acre tract described in a deed to Jack Kelley recorded in Volume 404, Page 324 (DRECT);

THENCE South 31 deg. 13 min. 11 sec. East along the East line of said 117.601 acre tract and the West line of said 125 acre tract, a distance of 2358.70 feet to a 1/2" capped iron rod set for the Southeast corner of said 117.601 acre tract, the Southwest corner of said 125 acre tract, and being in the North line of a called 140 acre tract described in a deed to Clint Allen Riddle and Curtis Ray Riddle recorded in Volume 2675, Page 812 (DRECT), from which a 1/2" iron rod found bears South 15 deg. 39 min. 16 sec. West – 2.77 feet and a 1/2" iron pipe found for the Northeast corner of said 140 acre tract bears North 59 deg. 45 min. 11 sec. East – 952.87 feet;

THENCE South 59 deg. 45 min. 11 sec. West along the South line of said 117.601 acre tract and the North line of said 140 acre tract, at 1243.66 feet pass a 1/2" iron rod found for the Northwest corner of said 140 acre tract and the Northeast corner of a called 10.00 acre tract described in a deed to Melissa Mims recorded in Volume 2139, Page 2147 (DRECT) and continue a total distance of 2108.66 feet to a 1/2" capped iron rod set for the Southwest corner of said 117.601 acre tract and being an elf corner of a called 265.36 acre tract described in a deed to Nay Trust B recorded in Volume 2739, Page 149 (DRECT);

THENCE North 31 deg. 44 min. 11 sec. West along the West line of said 117.601 acre tract, the East line of said 265.36 acre tract, and the East line of a called 2.113 acre tract described in a deed to Terry L. Nay, et ux recorded in Volume 1621, Page 662 (DRECT) at 2466.20 feet pass a 1/2" iron rod found 75.00 feet West of and perpendicular to said line for a corner in the West line of said 2.113 acre tract and continue a total distance of 2482.55 feet to a 1/2" capped iron rod set for the Northwest corner of said 117.601 acre tract and being in the South line of said 1040.641 acre tract;

THENCE South 58 deg. 06 min. 39 sec. West along the South line of said 1040.641 acre tract, a distance of 1071.46 feet to a 1/2" capped iron rod set for an ell corner of same and being the most northerly Northwest corner of said 265.36 acre tract;

THENCE South 04 deg. 10 min. 42 sec. East along the South line of said 1040.641 acre tract and the North line of said 265.36 acre tract, a distance of 1491.41 feet to a 1/2" capped iron rod set for an ell corner of same;

THENCE South 31 deg. 26 min. 53 sec. East along the South line of said 1040.641 acre tract and the North line of said 265.36 acre tract, a distance of 214.05 feet to a 1/2" iron rod found in the recognized

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South line of J. Barker Survey, recognized Northeast corner of the M. Myers Survey, and the recognized Northwest corner of the J. Fifer Survey;

THENCE South 58 deg. 27 min. 04 sec. West along the South line of said 1040.641 acre tract, the North line of said 265.36 acre tract, the recognized South line of the J. Barker Survey, and the recognized North line of the M. Myers Survey, a distance of 1456.37 feet to a 1/2" capped iron rod set for the Northeast corner of said 141.524 acre tract and the Northwest corner of said 265.36 acre tract;

THENCE South 30 deg. 59 min. 02 sec. East departing the South line of said 1040.641 acre tract and said survey lines, continue along the East line of said 141.524 acre tract and the West line of said 265.36 acre tract, a distance of 2323.39 feet to a 1/2" capped iron rod set for the most westerly Southwest corner of said 265.36 acre tract and the Northwest corner of a called 40.889 acre tract described as Tract 1 in a deed to Hiram Clay Schoolfield recorded in Volume 2424, Page 1248 (DRECT);

THENCE South 02 deg. 15 min. 28 sec. East along the East line of said 141,524 acre tract and the West line of said 40.889 acre tract, a distance of 25.10 feet to a 1/2" capped iron rod set for the northerly corner of a called 0.7798 acre tract described as Tract 3 in said Volume 2424, Page 1248 (DRECT);

THENCE South 18 deg. 58 min. 50 sec. East along the East line of said 141.524 acre tract and the West line of said 0.7798 acre tract, a distance of 816.36 feet to a 1/2" capped iron rod set for the southerly corner of said 0.7798 acre tract and being in the West line of said 40.889 acre tract;

THENCE South 12 deg. 44 min. 40 sec. East along the East line of said 141.524 acre tract and the West line of said 40.889 acre tract, a distance of 19.10 feet to a 1/2" capped iron rod set for the northerly corner of a called 0.2831 acre tract described as Tract 2 in said Volume 2424, Page 1248 (DRECT);

THENCE South 08 deg. 46 min. 58 sec. East along the East line of said 141.524 acre tract, the West line of said 0.2831 acre tract, and the West line of a called 0.7778 acre tract described in a deed to Hiram Clay Schoolfield, et ux recorded in Volume 2105, Page 1459 (DRECT), a distance of 855.83 feet to a 1/2" capped iron rod found stamped "RPLS 4466" for the Southeast corner of said 141.524 acre tract, the southerly corner of said 0.7778 acre tract, the Southwest corner of said 40.889 acre tract, and being in the North right-of-way line of Farm to Market Highway No. 1446 (80' right-of-way width), from which a 1/2" iron rod found for a P.1. in said right-of-way bears North 84 deg. 07 min. 41 sec. East – 903.57 feet;

THENCE South 84 deg. 07 min. 41 sec. West along the South line of said 141.524 acre tract and said North right-of-way line, a distance of 1056.15 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 1949.86 feet, a central angle of 7 deg. 42 min. 06 sec., and being subtended by a chord which bears South 80 deg. 06 min. 44 sec. West - 261.90 feet;

THENCE in a westerly direction along said curve to the left, the South line of said 141.524 acre tract, and said North right-of-way line, a distance of 262.10 feet to a 1/2" capped iron rod set.

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THENCE South 76 deg. 15 min. 41 sec. West tangent to said curve and continue along the South line of said 141.524 acre tract and said North right-of-way line, a distance of 16.06 feet to a 1/2" capped iron rod set for the Southwest corner of said 141.524 acre tract and the Southeast corner of a called 195.17 acre tract described in a deed to ACCRU, Inc. recorded in Volume 1737, Page 2029 (DRECT), from which a 60D nail found bears South 31 deg. 29 min. 58 sec. East – 0.33 feet;

THENCE North 31 deg. 29 min. 58 sec. West along the West line of said 141.524 acre tract and the East line of said 195.17 acre tract, a distance of 3389.99 feet to a 1/2" capped iron rod set for the Northwest corner of said 141.524 acre tract, a South corner of a called 300.765 acre tract described in a deed to Jeffrey Lane Frazier and Jeanette Marie Frazier recorded in Volume 2048, Page 1588 (DRECT), being in the recognized South line of the J. Barker Survey and the recognized North line of the M. Myers Survey, from which a 1/2" iron rod found "bent" bears North 31 deg. 29 min. 58 sec. West – 0.71 feet;

THENCE North 58 deg. 27 min. 04 sec. East along the North line of said 141.524 acre tract, the South line of said 300.765 acre tract, the recognized South line of the J. Barker Survey, and the recognized North line of the M. Myers Survey, a distance of 660.45 feet to a 1/2" iron rod found for the Southeast corner of said 300.765 acre tract and the Southwest corner of said 1040.641 acre tract;

THENCE North 30 deg. 52 min. 01 sec. West departing the North line of said 141.524 acre tract and said survey lines and continue along the West line of said 1040 641 acre tract and the East line of said 300.765 acre tract, a distance of 2132.69 feet to a 1/2" capped iron rod found stamped "RPLS 4466" for the Northeast corner of said 300.765 acre tract and being the Southeast corner of said 398.282 acre tract;

THENCE South 59 deg. 04 min. 49 sec. West along the South line of said 398.282 acre tract and the North line of said 300.765 acre tract, a distance of 3095.33 feet to a 1/2" iron rod found for the Northeast corner of said 99.991 acre tract,

THENCE South 30 deg. 52 min. 12 sec. East departing the South line of said 398.282 acre tract and continue along the East line of said 99.991 acre tract, a distance of 1419.80 feet to a 1/2" capped iron rod set for the Southeast corner of same;

THENCE South 59 deg. 04 min. 49 sec. West along the South line of said 99.991 acre tract, a distance of 3067.77 feet to a 1/2" capped iron rod found "illegible" for the Southwest corner of same, being in the recognized West line of the B. Wiltshire Survey and the East line of the J. W. Brock Survey, Abstract No. 129, said point being in the apparent right-of-way of Lone Elm Road;

THENCE North 30 deg. 52 min. 12 sec. West along the West line of said 99.991 acre tract, the West line of said 398.282 acre tract, the East line of a called 132.09 acre tract described in a deed to Richard E. Wood recorded in Volume 630, Page 1040 (DRECT), the recognized West line of the B. Wiltshire Survey, the recognized East line of the J. W. Brock Survey, and generally along the centerline of Lone Elm Road, a distance of 2347.89 feet to a railroad spike found in said centerline for the Southeast corner of a called 21.607 acre tract described in a deed to Duane Walker and Clinton S. Walker recorded in Volume 2522, Page 1807 (DRECT), the Northeast corner of said 132.09 acre tract, and being the recognized Northeast corner of the J. W. Brock Survey and the recognized Southeast corner of the E. H. Belcher Survey.

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THENCE North 30 deg. 36 min. 54 sec. West along the West line of said 398.282 acre tract, the East line of said 21.607 acre tract, the recognized East line of the E. H. Belcher Survey, the recognized West line of the B. Wiltshire Survey, and generally along the centerline of Lone Elm Road, a distance of 1069.50 feet to a railroad spike found for the most westerly Northwest corner of said 398.282 acre tract, the South line of said 182.727 acre tract, an ell corner of said 21.607 acre tract, the recognized Kest line. J. Barker Survey, the recognized Northwest corner of the B. Wiltshire Survey, and the recognized East line of the E. H. Belcher Survey, and being in the apparent right-of-way line of Lone Elm Road;

THENCE South 59 deg. 14 min. 03 sec. West departing said survey lines and continue along the East line of said 21.607 acre tract and the South line of said 182.727 acre tract, a distance of 9.39 feet to a railroad spike found in the centerline of Lone Elm Road for the Southwest corner of said 182.727 acre tract and an ell corner of said 21.607 acre tract;

THENCE in a northerly direction along the East and North lines of said 21.607 acre tract, the West line of said 182.727 acre tract, and the centerline of Lone Elm Road the following seven (7) courses;

North 36 deg. 38 min. 20 sec. West, a distance of 137.89 feet to a P.K. nail set;

North 31 deg. 46 min. 43 sec. West, a distance of 526.65 feet to a railroad spike found,

North 36 deg. 29 min. 06 sec. West, a distance of 390.51 feet to a railroad spike found,

North 28 deg. 08 min. 21 sec. West, a distance of 116.40 feet to a railroad spike found;

North 20 deg. 06 min. 52 sec. West, a distance of 238.25 feet to a railroad spike found for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 135.00 feet, a central angle of 99 deg. 54 min. 23 sec., and being subtended by a chord which bears North 69 deg. 38 min. 15 sec. West - 206.69 feet;

Continue in a northwesterly direction along said curve to the left, a distance of 235.40 feet to a railroad spike found;

South 60 deg. 25 min. 46 sec. West, a distance of 239.14 fect to a railroad spike found for the Northwest corner of said 21.607 acre tract and being a Southwest corner of said 182.727 acre tract;

THENCE North 38 deg. 11 min. 55 sec. West departing said centerline and continue along the West line of said 182.727 acre tract, at 4.36 feet pass a cotton spindle found for the Southeast corner of a called 5.0854 acre tract described in a deed to Cesar Gabrial Alvardo, et al recorded in Volume 2827, Page 1025 (DRECT) and continue a total distance of 30.42 feet to a 1/2" iron rod found.

THENCE North 31 deg. 37 min. 24 sec. West along the West line of said 182.727 acre tract, the West line of said 681.000 acre tract, and the East line of said 5.0854 acre tract, a distance of 1519.11 feet to a 1/2" fron rod found for an ell corner of said 681.000 acre tract, the Northeast corner of said 5.0854 acre tract, being in the Southeast line of said 151.499 acre tract, and being in the recognized Southeast line of the J. J. Davidson Survey;

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THENCE South 58 deg. 49 min. 03 sec. West along the Southeast line of said 151.499 acre tract and the recognized Southeast line of the J. J. Davidson Survey, at 143.23 feet pass 1/2** iron rod found for the Northwest corner of said 5.0854 acre tract, at 424.16 feet pass a 1/2** iron rod found which bears Southeast 0.87 feet, at 712.18 feet pass a 1/2** iron rod found which bears Southeast 0.87 feet, at 712.18 feet pass a 1/2** iron rod found which bears Southeast 0.87 feet, at 712.18 feet pass a 1.5** iron pipe found for the most southerly corner of said 151.499 acre tract, the most easterly corner of a called 23.699 acre tract described in a deed to the Gary Pohlman and Catherine Pohlman Revocable Living Trust recorded in Volume 2570, Page 766 (DRECT), said point being in the recognized Southeast line of the J. J. Davidson Survey, and the recognized Northwest line of the E. Ballard Survey;

THENCE North 31 deg. 15 min. 57 sec. West departing said survey lines and continue along the Southwest line of said 151.499 acre tract, the Northeast line of said 23.699 acre tract, the Northeast line of a called 13.193 acre tract described in a deed to Mike Green, et al recorded in Volume 1865, Page 2013 (DRECT), and a Northeast line of a called 5.48 acre tract described in a deed to Sharon Hobbs recorded in Instrument No. 1521807 (DRECT), a distance of 1466.49 feet to a 1/2th capped iron rod set for an ell corner of said 151.499 acre tract and an ell corner of said 5.48 acre tract;

THENCE North 58 deg. 19 min. 03 sec. East along a Northwest line of said 151.499 acre tract and a Southeast line of said 5.48 acre tract, a distance of 672.39 feet to a 1/2" capped iron rod set for an ell corner of said 151.499 acre tract and the most easterly corner of said 5.48 acre tract:

THENCE North 31 deg. 00 min. 42 sec. West along the Southwest line of said 151,499 acre tract, the Northeast line of said 5,48 acre tract, and the Northeast line of a called 119.3 acre tract described in a deed to Katherine Ann Pitts recorded in Volume 1133, Page 31 (DRECT), a distance of 2105.26 feet to a 1/2" capped iron rod set for a Northwest corner of said 151.499 acre tract and being the Southwest corner of a called 1.34 acre tract described in a deed to Robert Armstrong, et al recorded in Volume 1815, Page 1883 (DRECT);

THENCE North 59 deg. 52 min. 53 sec. East along the Northwest line of aid 151.499 acre tract and the South line of said 1.34 acre tract, a distance of 246.50 feet to a 1/2" capped iron rod found stamped "TEXAS SURVEYORS" for an ell corner of said 151.499 acre tract and the Southeast corner of said 1.34 acre tract;

THENCE North 19 deg. 07 min. 42 sec. West along a West line of aid 151.499 acre tract and the East line of said 1.34 acre tract, at 216.69 feet pass a 1/2" capped iron rod found stamped "TEXAS SURVEYORS", and continue a total distance of 225.94 feet to a P.K. nail set for the most northerly Northwest corner of said 151.499 acre tract, the Northeast corner of said 1.34 acre tract, said point being in Lone Elm Road;

THENCE North 58 deg. 10 min. 50 sec. East along the Northwest line of said 151.499 acre tract, a distance of 778.04 feet to a P.K. nail set for the most northerly Northeast corner of same, the Northwest corner of a called 10.398 acre tract described in a deed to Jay Lindstrom, et al recorded in Volume 2782, Page 1786 (DRECT), said point being in Lone Elm Road;

THENCE South 23 deg. 02 min. 22 sec. East along the Northeast line of said 151,499 acre tract and the West line of said 10.398 acre tract, at 30.26 feet pass a 1/2" capped iron rod found stamped "WLSC", and continue a total distance of 1040.17 feet to a 1/2" iron rod found;

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THENCE South 32 deg. 49 min. 01 sec. East along the Northeast line of said 151.499 acre tract and the West line of said 10.398 acre tract, a distance of 600.03 feet to a 1/2" iron rod found for an ell corner of said 151.499 acre tract and the Southwest corner of said 10.398 acre tract;

THENCE North 60 deg. 11 min. 33 sec. East along a North line of said 151.499 acre tract and the South line of said 10.398 acre tract, at 299.94 feet pass a 1/2" capped iron rod found stamped "WLSC" for the Southeast corner of said 10.398 acre tract and the Southwest corner of a called 10.339 acre tract described in a deed to Dawn Knox recorded in Volume 2791, Page 1504 (DRECT), at 606.40 feet pass a 1/2" capped iron rod found stamped "WLSC" for the Southeast corner of a called 10.339 acre tract and the Southwest corner of said 10.339 acre tract and the Southwest corner of a called 11.168 acre tract described in a deed to David P. Hein, Jr., et al recorded in Volume 2788, Page 2140 (DRECT), and continue a total distance of 946.14 feet to a 1/2" capped iron rod set for the most easterly Northeast corner of said 151.499 acre tract, the Southeast corner of said 11.168 acre tract, being in the Southwest corner of said 151.499 acre tract, the Southeast corner of said 11.168 incre tract, being in the Southwest corner of said 151.499 acre tract, the Southeast corner of said 11.168 incre tract, being in the Southwest corner of said 151.499 acre tract, the Southeast corner of said 11.168 incre tract, and being in the recognized Southwest line of the J. Barker Survey, and the Northeast line of the J. J. Davidson Survey, from which a 1/2" tron rod found bears North 60 deg. 11 min. 33 sec. East – 1.30 feet;

THENCE North 31 deg. 16 min. 02 sec. West along the Southwest line of said 681.000 acre tract, the Northeast line of said 11.168 acre tract, and the recognized Southwest line of the J. Barker Survey and the recognized Northeast line of the J. J. Davidson Survey, a distance of 1060.24 feet to a 1/2" iron rod found for a Northwest corner of said 681.000 acre tract and the Southwest corner of a called 10.059 acre tract described in a deed to Mark Livingston and Monica Louise Livingston recorded in Volume 2559, Page 2132 (DRECT):

THENCE North 58 deg. 36 min. 52 sec. East departing the Northeast line of said 11.168 acre tract and said survey lines and continue along the Northwest line of said 681.000 acre tract, the South line of said 10.059 acre tract, the South line of a called 10.059 acre tract described in a deed to Joe Bourland and Barbara Bourland recorded in Volume 2559, Page 2122 (DRECT), and the South line of a remainder of called 58.092 acre tract described in a deed to Armstrong 98, LLC recorded in Volume 2431, Page 1623 (DRECT), a distance of 1893.09 feet to a 1/2" capped iron rod found for the Southeast corner of said 58.092 acre tract.

THENCE North 31 deg. 34 min. 40 sec. West along the Northwest line of said 681,000 acre tract and the East line of said 58 092 acre tract, a distance of 11.05 feet to a 1/2" capped iron rod set for the Southwest corner of a called 8.000 acre tract described in a deed to 1glesia Vaquera recorded in Volume 2504, Page 887 (DRECT);

THENCE North 58 deg. 40 min. 31 sec. East along the Northwest line of said 681.000 acre tract and the South line of said 8.000 acre tract, a distance of 289.78 feet to a 60D nail found for the Southeast corner of said 8.000 acre tract and the Southwest corner of a called 13.885 acre tract described in a deed to Nelson C. Ridgway recorded in Volume 1948, Page 238 (DRECT);

THENCE North 58 deg. 40 min. 33 sec. East along the Northwest line of said 681.000 acre tract and the South line of said 13.885 acre tract, a distance of 601.09 feet to a 5/8" iron rod found for the Southeast corner of said 13.885 acre tract and the Southwest corner of a called 10.168 acre tract described as Tract 1 in a deed to Rapeapat Unarut recorded in Volume 2517, Page 1087 (DRECT);

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Emory Lakes

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THENCE North 58 deg. 37 min. 40 sec. East along the Northwest line of said 681.000 acre tract and the South line of said 10.168 acre tract, a distance of 439.41 feet to a 1/2" iron rod found for the Southeast corner of said 10.168 acre tract and the Southwest corner of a called 3.0 acre tract described as Tract 2 in said Volume 2517, Page 1087 (DRECT);

THENCE North 58 deg. 43 min. 52 sec. East along the Northwest line of said 681.000 acre tract and the South line of said 3.0 acre tract, a distance of 372.79 feet to a 1/2" iron rod found for an ell corner of said 681.000 acre tract, the Southeast corner of said 3.0 acre tract, and being in the East line of Memory Lane (12" wide private road);

THENCE North 31 deg. 19 min. 29 sec. West along the Northwest line of said 681.000 acre tract and the East line of said Memory Lane, a distance of 899.22 feet to a 1/2" iron rod found for a Northwest corner of said 681.000 acre tract and the Southwest corner of said 1.725 acre tract;

THENCE North 76 deg. 25 min. 44 sec. East along the North line of said 681.000 acre tract and the South line of said 1.725 acre tract, a distance of 416.30 feet to a 1/2" iron rod found for an ell corner of said 681.000 acre tract and the Southeast corner of said 1.725 acre tract;

THENCE North 22 deg. 02 min. 17 sec. West along the West line of said 681.000 acre tract and the East tine of said 1.725 acre tract, a distance of 225.35 feet to the POINT OF BEGINNING, containing 122,496,047 square feet or 2812.122 acres of land, more or less.

Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation.

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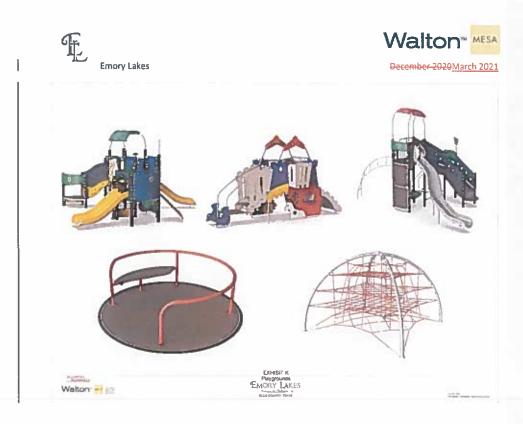
Exhibit K: Playgrounds

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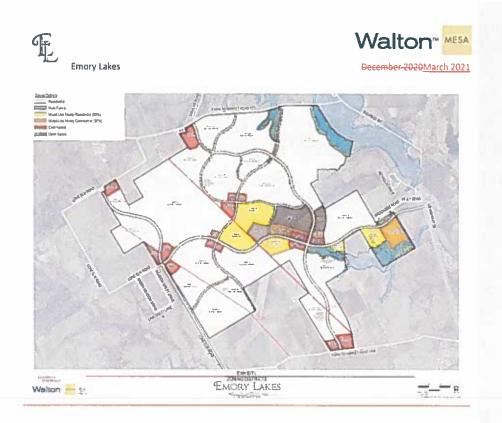
Exhibit L: Concept Plan

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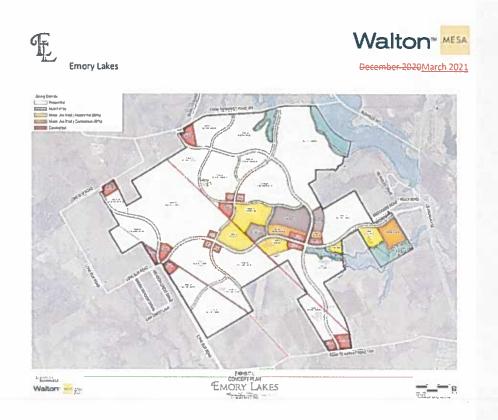


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information

Sec. 5.01 - Exterior Construction Requirements.

- (a) Definitions. For the purpose of this section, the following definitions shall apply:
 - (i) Masonry Construction This term means that form of exterior construction materials including brick, stone, granite, marble, decorative concrete block or tile, other similar building units or materials, or a combination of these materials laid up unit by unit and set in mortar, and shall exclude wall area devoted to doors and windows. As applicable to meeting the minimum requirements for the exterior construction of buildings within each zoning district, this term shall include hard-fired brick, kiln-fired clay or slate materials, stone, including naturally-occurring granite, marble, limestone, slate, river rock, or other similar hard and durable all-weather stone; decorative concrete block, concrete pre-cast or tilt-wall panels; glass blocks or tiles; or stucco. See the definition of Masonry construction for further information.
 - 1) Within all Emory Lakes residential districts.
 - Synthetic stucco (exterior insulation finishing system EFIS) is not allowed
 - Fiber reinforced plastic is not allowed as an exterior exposed* construction material
 - 4)2) Within the Town Center Overlay area, masonry shall include <u>(in addition to the allowed masonry items above)</u>.
 - Synthetic stucce (exterior incutation finishing system EFIS) is not allowed within 4 feet from the finished floor of the first floor.

Glazed ceramic and porcelain tile.

- 2)3) The following materials are permitted within the Town Center Overlay area;
 - Fiber reinforced plastic (with the exception of plastic or vinyl siding) used for exterior building components, including but not limited to cornice and entablature elements, decorative columns and pilasters, storefront trim, railings, and balustrades, spandrel panels, and similar elements.
 - Painted steel and aluminum, cast iron, bronze, brass, copper (including terme coated)
 - Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, cement tile, glass fiber shingles.
 - Materials other than those listed above may be used for architectural trim and accent applications including, but not limited to, comices and decorative brackets, frieze panels, decorative lintels, shutters, and porch or balcony railings
- (ii) The following materials shall not qualify nor be defined as Masonry Construction in meeting the minimum requirements for the exterior construction of buildings, unless specifically approved by the City's Building Official for single-family or duplex residential structures, or by the City Council on an approved Concept Plan or Detailed Site Plan for single-family attached, multi-family, or non-residential structures.
 - 1) Adobe or mortar wash surface material;
 - Exterior insulation and finish system (EIFS), acrylic matrix, synthetic plaster, or other similar synthetic material;
 - 3) Cementitious fiberboard siding (such as Hardy® board, etc);

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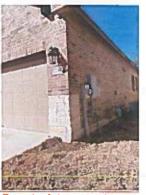
- 4) Aluminum, PVC or other plastic-based siding material;
- 5) Lightweight or featherweight concrete blocks or cinder blocks, or
- 6) Any other cementitious product not listed above.
- (iii) Left Blank Intentionally
- (b) Minimum masonry exterior construction standards. The standards and criteria contained within this subsection are deemed to be minimum standards and shall apply to all new building construction occurring within the City or as otherwise required in this Development Agreement for changes of use, expansions of non-conformities, or other applicable building modifications.
 - Application Requirements: Any application for the use of masonry materials that is not otherwise permitted by this Development Agreement shall require the following:
 - 1) Site Plan. All requests for the use of masonry materials shall be submitted to the City in writing on an application form available in the Building and Community Services Department office, and shall be noted and described on an Administrative Site Plan. See site plan detail requirements in Section 7.01 of the City of Waxahachie Ordinance. A building permit shall be required for any development wherein the use of masonry materials is proposed in accordance with this section of the Development Agreement.
 - 2) Building Façade Plan. The architectural style and scale of a proposed singlefamily or two-family dwelling unit shall be submitted in the form of scaled drawings with proposed four façade elevations. This submission shall be submitted with and shall be a component of the Administrative Site Plan or building permit application.
 - a) If the proposed use of masonry materials is for more than one dwelling unit, the applicant shall provide at least six (6) façade drawings that are representative of the overall style and scale of the dwelling units within the development. If the use of masonry materials is approved, these drawings will serve as examples of what the City anticipates for the overall development, and the applicant shall be expected to meet a similar level of quality in the design of single-family homes and/or townhomes that are not individually represented in the examples.
 - b) The Building and Community Services Department may require actual samples of any proposed masonry products and the actual colors to be used. Such samples shall be submitted as part of the Building Façade Plan.
 - 3) Quality Control. Any question as to whether the durability or installation of the masonry materials is in accordance with this section of the Development Agreement, and/or with the City's Building Code, shall be determined by the City's Building Official. The appropriateness of the application in terms of quality shall be determined as part of Administrative Site Plan or Building Façade Plan approval.
 - a) If the Building Official deems the installation insufficient to meet the City's Building Code or the manufacturer's written specifications and requirements (including spirit and intent) of these regulations, then no Certificate of Occupancy shall be issued unless and until the installation is deemed satisfactory. Any appeal of this decision may be made to the Planning and Zoning Commission. If denied by the Planning and Zoning Commission, may be further appealed to the City Council.

b) The method of painting or color application, including the type of paint and materials to be used, must be approved as part of the Administrative Site Plan and related Building Façade Plan.

Single-Family and Duplex Residential (ii)

> -For all residential land uses (excluding multi-family): 1)+)-

- least two (2) feet around the corner onto the side elevation.



Example of stone wrapping corner of home

e. For the sides of homes that face a street (corner lot), the corner elevation must have the stone wrap around the side of the home until the wood fence starts. The stone must be at least thirty (30") inches in height from the top of the foundation

xamples of Single-Family Homes meeting the above requirements.



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- Concrete, concrete block, or metal exterior construction is not permitted on any single-family or duplex residential structure.
- 3) Refer to Section (c) for non masonry design requirements
- 4) Refer to Section (c) for non masonry design requirements
- 5) Refer to Section (c) for non masonry design requirements.
- 6) Refer to Section (c) for non masonry design requirements
- 7) Refer to Section (c) for non masonry design requirements
- (iii) Multi-Family and Single-Family Attached Residential:
 - All principal buildings and structures constructed for Multi-Family use, shall be constructed in such manner to include Masonry Construction covering at least seventy-five (75) percent of the total exterior walls, excluding doors and windows. All construction shall also be performed in accordance with the City's building code and fire prevention code.
 - Concrete, concrete block, or metal exterior construction is not permitted on any multi-family or single-family attached residential structure.
 - 3) Refer to Section (e) for non masonry design requirements
 - 4) Refer to Section (e) for non masonry design requirements

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Formatted: Numbered + Level: 1 + Numbering Style: 1, 2, 3, ... + Start at: 1 + Alignment: Left + Aligned at: 1.38" + Indent at: 1.63", Tab stops: 2.13", Left (iv) Nonresidential and Institutional Buildings.

- All non-residential and institutional buildings in any District shall have a minimum of ninety (90) percent Masonry Construction below the first floor ceiling plate.
 - a) The minimum Masonry Construction required above the first floor ceiling plate is eighty (80) percent.
 - b) The Masonry Construction shall be equally distributed around all sides of the building.
 - c) Any exterior façade of a building that faces, or is visible from, a public street shall meet the same Masonry Construction requirements as the front building plane.
 - All other façades that are not facing, or visible from, a right-of-way shall consist of not less than fifty (50) percent Masonry Construction for all stories.
- 2) Left Blank Intentionally
- 3) Areas of a façade that are devoted to windows, doors, covered porches, stoops, breezeways, or courtyards shall not be counted as "wall surface" when calculating the Masonry Construction requirement.
- Metal exterior construction is not allowed on any non-residential or institutional structure located within any Zoning District except the Town Center Overlay Area.
 - a) The building façade containing the metal construction must not face or be visible from an existing or planned public right-of-way, as identified on the City's Thoroughfare Plan or plat records.
 - b) Metal exterior exceptions:
 - i. If the structure is located on a through lot that both fronts and backs onto a right-of-way, and if the structure's rear façade is located more than one thousand (1,000) feet from the right-ofwat, then the rear façade can be of metal exterior construction.
 - ii. If the structure is on a corner lot, which fronts and sides onto two rights-of-way, the front and side façades cannot be metal exterior construction unless approved on the site plan.
 - c) The use of any type of metal for exterior building construction, such as profiled panels, deep ribbed panels, concealed fastener system panels, or similar materials, shall be clearly shown on the Administrative Site Plan, and shall only be allowed with site plan approval.
 - The exterior finish of metal used in exterior construction shall be of a permanent, maintenance-free nature such as a baked-on finish.
 - ii. The use of corrugated, galvanized, aluminum-coated, zinccoated, unfinished, or similar metal surfaces shall be prohibited, unless approved on the site plan for a restaurant that uses such materials as part of its "signature design aesthetic," in which case a maximum of ten (10) percent of any wall façade may be devoted to such materials.
- 5) Refer to Section (f) for non masonry design requirements

- Applicable to all non-residential development:
 - a) Horizontal Articulation. No building wall shall extend for a distance equal to three (3) times the wall's height without having an off-set equal to twenty-five (25) percent of the wall's height, and that new plane shall extend for a distance equal to at least twenty-five (25) percent of the maximum length of the first plane.
 - b) Vertical Articulation. No horizontal wall shall extend for a distance greater than three (3) times the height of the wall without changing height by a minimum of twenty-five (25) percent of the wall's height.
- 7) Applicable to all commercial and retail settings and uses:

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- All buildings shall be designed and constructed in tri-partite architecture so that they have a distinct base, middle, and top.
- b) External Façade Materials: In addition to the minimum Masonry Construction requirement, the following specific materials shall be used to construct all exterior walls of buildings and parking structures that are visible from a right-of-way, public walkway, or open space:
 - Ground floor: Excluding windows, doors, and other openings, the exterior façade(s) shall be constructed of one hundred (100) percent brick, natural stone, or cast stone.
 - ii Overall: A minimum of ninety (90) percent of entire exterior façade(s), excluding windows, doors, and other openings, shall be constructed of brick, natural stone, or cast stone. The brick, natural stone, or cast stone shall continue around corners a minimum of eight (8) feet. Portland cement stucco may account for up thirty (30) percent of this requirement.

 EIFS shall be used only for architectural features or embellishments that are not subject to pedestrian contact.

- Unpainted metal or metal subject to ordinary rusting, shall not be used as a building material. Factory finished metal elements as well as metals that develop an attractive oxidized finish, such as copper, galvanized metal, stainless steel or weathering steel, may be used as architectural accents by administrative approval.
- Windows and glazing shall be a minimum of thirty (30) percent and up to a maximum of seventy (70) percent of each building elevation.
 - A variation of up to fifteen (15) percent of the standards above, and the material type may be approved administratively via an Administrative Site Plan or building permit, provided that the change will result in an improved architectural design without degrading the quality of public areas or increasing the need for maintenance.

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- (v) Exemptions: The following structures are exempt from the masonry construction requirements outlined within this subsection b:
 - Barns on property of two (2) or more acres, provided that such barns are used solely for agricultural purposes and not used for commercial purposes;
 - All single family accessory buildings that do not exceed five hundred (500) square feet of floor area;

- 3) Temporary construction buildings, field offices, sales offices and temporary classroom or storage buildings for a public school only (provided that such facilities are legally permitted by the City for a specific period of time, and provided that they are completely removed from the premises upon expiration of the permit or upon completion of construction, whichever occurs first);
- 4) Accessory Buildings:
 - a) Intentionally left blank
 - b) In Residential districts accessory buildings exceeding five hundred (500) square feet of floor area shall conform to the minimum exterior construction standards for the main building on the lot or tract and shall be compatible in exterior finishes and colors as the main building.
 - c) All non-single family accessory buildings of any size shall conform to the minimum exterior construction standards for the main building on the lot or tract and shall be architecturally compatible in design and constructed of the same exterior finishes and colors as the main building.
 - d) Considerations for Approval: In addition to the minimum standards above, consideration for the use of masonry materials shall also be based on the following:
 - The architectural design and creativity of the dwelling units proposed;
 - The quality and creativity of the overall development proposed, and
 - Compatibility of the dwelling units proposed with surrounding developed properties and structures.
- 4) Residential homes with exterior designs classified as any of the following styleswill have no minimum masonry requirement but they must follow the architectural styles and materials depicted in the examples below (no more than 35% of single family homes may be classified as these styles)
 - Mid-Century Modern
 - Modern Farmhouse

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Formatted: Indent: Left: 2", Outline numbered + Level: 5 + Numbering Style: Bullet + Aligned at: 1.6" + Indent at: 1.85", Tab stops: 2", Left + Not at 1.69" a) Mid-Century Modern (maximum of 20% of all single family homes may be classified as this style)

- Roof pitches are allowed to be reduced to a minimum of 5:12.
- Stucco is allowed as a siding material
- Brick or stone may be painted
- Building colors, excluding roof, must be at least 3 different colors or gradients of the same color

Examples of Mid-Century Modern Design







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b) Modern Farmhouse (maximum of 20% of all single family homes may* be classified as this style)

Roof pitches are required to be a minimum of 8:12.

- Cementitious fiberboard siding is allowed when veritical or horizontal trim pieces are added (similar to those referenced in the images below) to break up large, solid walls
- Brick or stone may be painted
- Building colors, excluding roof, must be at least 3 different colors
 or gradients of the same color

Examples of Modern Farmhouse Design







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 (vi) Considerations for Approval: In addition to the minimum standards above, consideration for the use of masonry materials shall also be based on the following:

- 1) The architectural design and creativity of the dwelling units proposed;
- 2) The quality and creativity of the overall development proposed; and
- Compatibility of the dwelling units proposed with surrounding developed properties and structures.
- (vii) Approval Process

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- Building and Community Services Department Action: The City Manager or designated representative shall approve or deny any site plan and related Building Façade Plan submitted that involves the proposed use of nonmasonry materials.
- 2) Planning and Zoning Commission and City Council Appeal: If the site plan is denied by the City Manager or designated representative, the applicant may appeal the decision to the Planning & Zoning Commission and City Council.
- (c) Minimum non-masonry exterior construction standards for Single-Family Dwellings and Duplexes.
 - (i) Purpose and Applicability
 - Purpose. Design standards within this section are set forth to allow for the use of non-masonry materials. These standards are intended to incorporate high quality requirements for residential developments using non-masonry materials to ensure that the resulting dwelling unit positively contributes to Waxahachie's community image. These homes may be associated with new development concepts such as New Urbanism and Traditional Neighborhood Development (TND) or historic homes.
 - Applicability. Non-masonry materials may be used in accordance with the regulations herein, and upon approval in accordance with the approval process outlined below.
 - (ii) Quality of Installation:
 - Quality. Non-masonry materials shall be similar in terms of durability to that of a traditional masonry product such as brick. It shall be the applicant's responsibility to demonstrate that the non-masonry materials that are intended to be used exhibits such durability.
 - Installation. Any installation of non-masonry materials shall be installed properly according to the manufacturer's specifications and the City's building code.
 - (iii) Application Requirements: Any application for the use of non-masonry materials that is not otherwise permitted by this Development Agreement shall require the following:
 - 1) Administrative Site Plan. All requests for the use of non-masonry materials shall be submitted to the City in writing on an application form available in the Planning Department. The application shall note and describe the request in detail. An Administrative Site Plan shall be required for any development wherein the use of non-masonry materials is proposed and approved in accordance with this section of the Development Agreement.
 - Building Façade Plan. The architectural style and scale of the proposed singlefamily and/or two-family dwelling units shall be submitted in the form of scaled

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- a) If the proposed use of non-masonry materials is for more than one dwelling unit, the applicant shall provide at least six (6) <u>different</u> <u>architectural designs including four (4)</u> façade drawings for each design that are representative of the overall style and scale of the dwelling units within the development. If the use of non-masonry materials is approved, these drawings will serve as examples of what the City anticipates for the overall development, and the applicant shall be expected to meet a similar level of quality in the design o
- a)b) f single-family homes and/or townhomes that are not individually represented in the examples
- b)c) The Building and Community Services Department may require actual samples of any proposed non-masonry product to be used (and the actual colors to be used), and such samples shall be submitted as part of the Building Façade Plan.
- 5)3) Quality Control. Any question as to whether the durability or installationof the non-masonry materials is in accordance with this section of the Development Agreement, and/or with the City's Building Code, shall be determined by the City's Building Official. The appropriateness of the application in terms of quality shall be determined as part of site plan/Building Façade Plan approval.
 - a) If the Building Official deems the installation insufficient to meet the manufacturer's written specifications and requirements (including spirit and intent) of these regulations, or with the City's Building Code no Certificate of Occupancy shall be issued unless and until the installation is deemed satisfactory. Any appeal of this decision may be made to the Planning and Zoning Commission. If denied by the Planning and Zoning Commission, may be further appealed to the City Council.
 - b) The method of painting and/or color application, including the type of paint and/or materials to be used, must be approved as part of the site plan and related Building Façade Plan.

(iv) Design Standards:

- Required Standards: The use of non-masonry materials shall only be approved in accordance with the integration of the Design Standards listed within this section.
- Front Entry Walkways:
 - A hard surface walkway with a minimum improved width of three (3) feet must be constructed from the sidewalk or driveway to the front door of each primary structure.
 - Walkways may be surfaced with concrete, pavers, laid bricks, or any other such material and in accordance with City standards.

3) 3) Front Covered Porches

- Front covered porches shall be required for each dwelling unit proposing non-maconry construction.
- b) These covered porches must meet the following minimum criteria;
 - A front covered porch that is permanently attached to and is an integral part of the primary structure shall be constructed of like

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and similar materials to those of the primary structure. Alternative materials, i.e., cedar or other complimentary products, may be approved by the Building and Community Services Department through this Building Façade Plan review process.

ii. Front covered parches are encouraged but not required. A front porch may be a covered front porch with a sealing area or a covered stoop or covered landing arealf a porch is provided, they must be at least sixty (60) square feet in size and at least six (6) feet in depth.

Example of a front porch



Example of a covered stoop or landing



#-4)

4) Garages:

- Detached garages shall be constructed of like and similar exterior materials to those used for the primary structure.
- Two car garage doors may be comprised of two (2) single doors or one (1) double door.

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- c) There is a fifty (50) percent maximum the garage can encompass on all single family residential front facades. This percentage does not apply to lots with alley garage access. Fifty (50) percent of all dwellings shall have garages with at least one of the following designs:
 - i. Rear entry:
 - ii. J-Swing Drives (front entry); or
 - Offset front entry garage greater than or equal to three (3) feet behind the front building façade.
 - iv. On front loaded/non-alley lots in the Cottage sub-district, no more than 50% of the lots may have the front entry recessed behind the front garage elevation.
- d) All single-family residential garages shall have wood or wood simulated, carriage style garage doors including wood or wood simulated panels, decorate brackets and may or may not include windows.





ample of carriage style door with windows

foor without windows
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For single family lots classified as Mid-Century Modern or Moder-Farmhouse, in lieu of the carriage style door, the following enhanced doors (or designs that mimic the style depicted in the image) may be provided where carriage style doors are required.



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- Each dwelling unit shall be designed with the following minimum Architectural Requirements;
 - a) Architectural Relief:
 - The outside shape of a dwelling unit shall contain a minimum of five (5) outside corners with a minimum wall length of two (2) feet.
 - ii. There shall be no uninterrupted wall length of twelve (12) feet or more on any façade that is visible from a public right-of-way or open space. This standard applies to the front façade on the

interior of the lot or the front and side façade facing a street or open space on a corner lot.

- A minimum of sixty (60) percent of total area on first floor of all two-story homes is required.
- b) Minimum Number of Elevations:
 - No single building elevation shall be duplicated within six (6) lots or tracts on the same blockface;
 - ii. Elevations may not be duplicated on any lot directly across a street or within four (4) lots either direction...
- c) Minimum Number of Design Elements : A minimum of six (6) of the elements identified below in must be incorporated into the design of each dwelling unit unless the house has incorporated a porch extending the full width of the front building face or the garage is a J-Swing Drive_side entry or rear entry. If the house design has incorporated a porch extending the full width of the front building face, then four (4) elements are required and if the garage is a J-Swing Drive_side entry or rear entry, then two (2) elements are required.
 - i: Multiple pane, divided light, or simulated divided light windows;
 - Decorative columns that are a minimum of six (6) inches in diameter;
 - iii. Gable with window or other decorative feature;
 - iv: Dormer;
 - v. Bay windows with a minimum projection of twenty-four (24) inches
 - vi. 8.12 roof pitch;
 - Two (2) or more exterior masonry materials with each material covering at least twenty-five (25) percent of the exterior surface;
 - viii. Split garage doors with a separate door for each vehicle bay);
 - ix. Bull nosed gable
 - x. Permanently affixed awning;
 - Articulated garage doors, e.g., windows, paneling, other high quality detailing;
 - Accentuated brick detailing around garage door with a rowlock or similar detailing
 - xiii. Transom or arch style windows; or
 - xiv. Elevated hip roof.
- d) The front building face must contain a minimum of thirty (30) percent of the wall area in windows or doors.

 Event Building Face:) The front building face must contain a minimum of thirty (30) percent of the wall area in windows or doors.

ii-c) Must be installed to leave no greater than six (6) inches between rooftops. Formatted: Indent: Left: 1.63", Hanging: 0.44", No bullets or numbering

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fe) Rooftop Solar Panel Systems (optional and not required):

iii.d) Must match the roof pitch on a pitched roof.

iv-e) Screening is required on flat roofs.

v-f) Panels shall not be installed on elevations facing a right-of-way.

- (g) Roof Design
 - i. A minimum 7:12 roof pitch is required for each dwelling unit.
 - Each dwelling unit shall be constructed with a roof overhang of not less than twelve (12) inches as measured from the finished exterior building façade to the soffit. Unless the roof pitch is 8:12 or greater.
 - iii Roof Materials for a single-family or duplex structure shall be comprised of one of the following:
 - 1. Laminated, three-dimensional appearance composition architectural shingle with a thirty (30) year minimum;
 - Flat pan standing seam metal roofing with only a factory baked-on muted color finish. No bright colors or naturalcolored metal roofing is allowed; or
 - 3. Terra cotta or slate tile in muted colors.
- 6) Examples: [see Article IX] The illustrations of dwelling units shall serve as examples of the type of architectural design that may be acceptable and unacceptable in considering whether to approve or deny requests to use nonmasonry materials.
- (v) Considerations for Approval. In addition to the minimum standards above, consideration for the use of non-masonry materials shall also be based on the following:
 - 1) The architectural design and creativity of the dwelling units proposed;
 - 2) The quality and creativity of the overall development proposed; and
 - Compatibility of the dwelling units proposed with surrounding developed properties and structures.
- (vi) Approval Process
 - Building and Community Services Department Action: The City Manager or designated representative shall approve or deny any site plan and related Building Façade Plan submitted that involves the proposed use of nonmasonry materials.
 - 2) Planning and Zoning Commission and City Council Appeal. If the site plan is denied by the City Manager or designated representative, the applicant may appeal the decision to the Planning & Zoning Commission and City Council.
- (d) Exceptions to minimum exterior construction standards.
 - (i) All requests for exceptions to any exterior construction requirement as provided herein shall be submitted to the Building and Community Services Department in writing, and shall be clearly noted and described in detail on a full set of to-scale color façade plans (i.e., that shows all building elevations) that is submitted along with the site plan if one is required by the City for the proposed building/development (for multi-family, single-family attached and non-residential structures only, and for the use of non-masonry materials as provided herein). The City may require submission of an actual sample(s) of the proposed exterior finish material(s) along with the façade plan and the site plan. The Building and Community

Services Department will review the request for an exception(s), and shall schedule the request for consideration by the Planning and Zoning Commission within thirty (30) days following receipt of the request.

- (ii) The Planning and Zoning Commission may recommend, and the City Council may approve, a request for an exception(s) to any exterior construction requirement, including the use of an alternative exterior construction material(s) if it is determined to be equivalent or better than the exterior materials otherwise required by this Subsection and by the City's Building Code (this process shall be part of the site plan approval process for multi-family, single-family attached and non-residential structures only — consideration and approval for the use of non-masonry materials shall be as provided herein).
- (iii) Consideration for exceptions to any exterior construction requirement shall be based only upon the following:
 - 1) Architectural design, creativity and innovation; and
 - Compatibility of the dwelling units proposed with surrounding developed properties and structures.
- EIFS is not permitted for Single-Family, Duplex or Multi-Family construction in any Zoning District.
- Minimum non-masonry exterior construction standards for Multi-Family and Attached Residential
 - Roof materials for a multi-family or single-family attached structure shall be comprised of one of the following
 - Laminated, three-dimensional appearance composition shingle with a 30year minimum;
 - Flat pan standing seam metal roofing with only a factory baked-on muted color finish. No bright colors or natural-colored metal roofing are allowed.; or
 - 3) Terra cotta or slate tile in muted colors.
 - (ii) Roofing:
- Minimum roof pitch shall be at least 7.12, unless otherwise stated in the applicable City of Waxahachie zoning district or PD ordinance.
- Santa Fe style roofs, with a flat roof and highly articulated parapet that conceals the roof and any roof-mounted equipment, may be acceptable.
- Texas Ranch-House style, with low pitched roofs, large eaves/overhangs, rambling design, or other uniquely styled architecture, may be acceptable.
- Minimum non-masonry exterior construction standards for Nonresidential and Institutional Buildings
 - (i) Roof materials for any non-residential or institutional structures that are visible from a right-of-way shall be comprised of the following:
 - Laminated, three-dimensional architectural composition shingle with a 30year minimum;
 - Flat pan standing seam metal roofing with only a factory baked-on muted color finish. No bright colors or natural-colored metal roofing is allowed; or
 - 3) Terra cotta or slate tile in muted colors.

- 4) Minimum roof pitch shall be at least 6:12, unless otherwise stated in the applicable City of Waxahachie zoning district or PD ordinance, and except for flat-roofed structures that shall have a highly articulated parapet that conceals the roof and any roof-mounted equipment.
- 5) Rooftop solar panel systems
 - Must be installed to leave no greater than six (6) inches between rooftops.
 - ii Must match the roof pitch on a pitched roof
 - iii. Screening is required on flat roofs.
 - iv. Panels shall not be installed on elevations facing a right-of-way.
- Minimum architectural and design standards in the Town Center Area
- (i) Within the Town Center Overlay area, masonry shall include.
 - <u>Synthetic stucco</u> (exterior insulation finishing system EFIS) is not allowed within 4 feet from the finished floor of the first floor.
 - ii) Glazed ceramic and porcelain tile,
 - (ii) The following materials are permitted within the Town Center Overlay area;
 - 1) Fiber reinforced plastic (with the exception of plastic or vinyl siding) used for exterior building components, including but not limited to: cornice and entablature elements, decorative columns and plasters, storefront trim, railings, and balustrades, spandrel panels, and similar elements
 - Painted steel and aluminum, cast iron, bronze, brass, copper (including teme coated).
 - Boofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, cement tile, glass fiber shingles.
 - 2) Materials other than those listed above may be used for architectural trim and accent applications including, but not limited to, cornices and decorative brackets, frieze panels, decorative lintels, shutters, and porch or balcony railingS.
 - (iii) Façade Treatments
 - Retail ground floors shall have windows covering a minimum of 40 percent of the major street fronting facade(s). Other ground level uses shall have facade treatments appropriate to such use(s).
 - 2) All sides of a building shall be consistent with respect to style, colors, and details to the extent that they establish continuity with the main street-front façade.
 - 3) On facades fronting on service or parking areas, windows need not be provided at the ground floor level. However, buildings shall avoid long, monotonous, uninterrupted walls. Building wall offsets, including projections, recesses, niches, fenestration, or changes of materials or color shall be used to add architectural variety and interest, and to relieve the visual impact of a blank wall.



Example image showing façade treatments, variation of materials and building articulation for commercial buildings

- Parapet and roof-line offsets between facades may be provided in order to break down the scale of the block and create architectural interest and variety.
- 5) In mixed-use buildings, the difference between ground level commercial uses and entrances for upper level uses should be reflected by differences in façade treatment. Storefronts and other ground floor entrances should be accentuated through comice lines. Further differentiation could be achieved through distinct but compatible exterior materials, signs, awnings and exterior lighting.



- Example of ground articulation between ground floor and upper level mixed use
- 6) All buildings shall be designed to incorporate no less than five (5) of the following architectural elements. Buildings over fifty thousand (50,000) square feet must include a minimum of seven (7) of the following elements. Buildings over one hundred thousand (100,000) square feet must include a minimum of eight (8) of the following elements.
 - a) Canopies, awnings, or porticos;
 - b) Overhangs;
 - c) Recesses or projections of at least three (3) feet;
 - d) Arcades;
 - e) Peaked roof forms;

- f) Porches;
- g) Outdoor patios
- Recessed or "popped-out" display windows (must project out at least 12" in the front or rear elevation and at least 6" along any side elevations).
- Visible and noticeable architectural details, such as tile work or moldings, integrated into building façade; or
- j) Integrated planters or wing walls that incorporate landscape and sitting areas.
- 7) Façades greater than one hundred feet (100') in length shall incorporate wall projections or recesses of ten feet (10') or greater. Projections or recesses shall be at least twenty percent (25%) of the length of the façade (60% for ground floor facades facing Haslet Parkway). No uninterrupted length of facade may exceed one hundred feet (100') in length. Projections and recesses shall not be required on the side of the building containing a loading dock and/or service area, provided that such area is located in the rear of the building and is not readily visible from any street types 2, 3, 4, or 5 (Refer to Exhibit F & Exhibit G in PD Ordinance X-X-XXXX)

(iv) Lighting

- Exterior lighting shall be architecturally integrated with the building's style, material, and color.
- 2) Pedestrian level lighting of building entrance-ways shall be provided.
- Illuminations of portions of buildings, direct or indirect, may be used for safety or aesthetic results.
- Street lights must be an approved spec from the City of Waxahachie staff prior to installation.



Example of lighting to accent building features, entnes and architectural styles

- (v) Buildings shall be oriented toward the major street front with the primary entrance located on that street.
 - Entrances shall be easily identifiable as primary points of access to buildings.
 - 2) Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole.
 - Site design should provide direct access into the building from the public sidewalk
 - Buildings located on the corners of development adjacent to street types 2, 3 4 or 5 should be architecturally significant structures.



Example of architecturally significantly designed corner building

(vi) Signage

- Signage in the Town Center shall enhance the pedestrian character of the district by providing signs that are pedestrian in scale and located so as to be legible to pedestrians on sidewalks.
- Signs may be attached flush to the building so long as they do not obscure any significant architectural details,
- Signs may be hung from marquees or overhangs, but shall not project lower than 7.5 feet above the sidewalk.
- Businesses are encouraged to create individually styled signage that distinguishes their establishment.
- Signs which are pedestrian oriented may be painted on the storefront glass, but in no case shall it occupy more than 25 percent of the glazed surface area.
- Directory signs may be provided to help direct the public to different businesses and services in the.
- Signs may be lit by external light sources as long as such sources are not visually intrusive.
- (vii) Garages: May not face onto a street with a Right-Of-Way greater than sixty (60) feet wide.
- (viii) Multi-family_development adjacent to Street Types 3, 4 or 5 (Refer to PD Ordinance Exhibit F & Exhibit G)
 - Is not required to be vertically mixed with non-residential uses on the ground floor
 - Shall be located in a manner as to provide privacy for residents by: i. providing a small landscaped front setback, and/or

- ii. raising or lowering the finished ground floor level relative to the sidewalk level
- 1) Encroachments by stoops, stairs, eaves, overhangs, porches, bay windows and balconies within the area between the property line and the building line is encouraged and shall be permitted
- 2) Shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard
- 3) Gable roofs, if provided, shall have a minimum pitch of 9/12. When hipped roofs are used, the minimum pitch shall be 6/12. Other roof types shall be appropriate to the architectural style of the building
- 4) Architectural embellishments that add visual interest to the roofs, such as dormers and masonry chimneys are encouraged and may be provided.
- (h) Traditional Neighborhood Development (TND) Standards
 - All residential buildings, except accessory structures, shall have their main entrance (i) opening onto a street, square, courtyard, or park.



- Example of residential entry facing onto street
- (ii) The primary building entrances for business and office establishments shall generally open to the front sidewalk.
- (iii) Stoops, open colonnades, and open porches may encroach into front setbacks as indicated in Section 3.2 (Single-Family Residential Lot Development Standards)
- Porches are encouraged for residential uses and may be built within the setback line or (iv) required front area. Where porches are not built, a "picket" fence or garden wall a minimum of two (2) feet in height is required

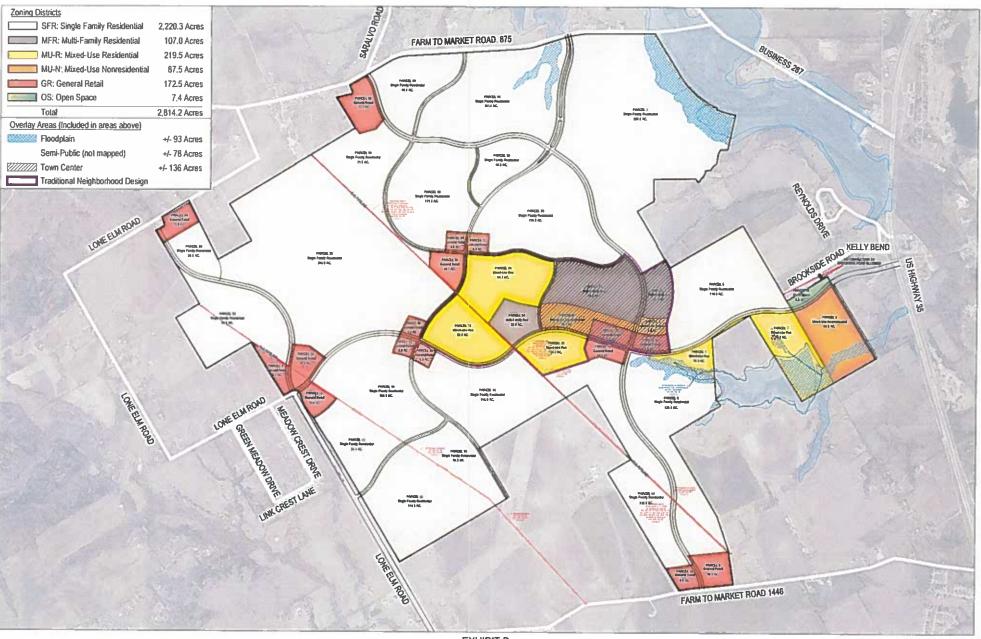


- (v) Civic buildings shall be located adjacent to greens, parks, or squares.
- (vi) Multi-family complexes shall not be greater than 120 units.
- (vii) Three (3) or four (4) bedroom apartment units are not permitted.
- (viii) All multi-family in commercial, retail, neighborhood centers or Town Overlay will be mixeduse.
- (ix) Architectural design shall be compatible with the character and scale of buildings in the neighborhood and the overall development through the use of appropriate building materials, screening, breaks in roof and wall lines and other architectural techniques. Variation in detail, form and siting shall be used to provide visual interest and avoid monotony. Proposed buildings shall relate harmoniously to each other with adequate light, air circulation, and separation between buildings where appropriate.
- (x) Parking lots shall generally be located at the rear of, or at the side of buildings and shall be no closer than 6 feet from a building. No more than 25% of the required parking should be within the front yard setback.
- (xi) When two adjacent lots contain parking areas it is encouraged to develop them as one parking area.
 (xii) Parking lot layout shall take into consideration pedestrian circulation pedestrian
- (xii) Parking lot layout shall take into consideration pedestrian circulation pedestrian crosswalks shall be provided, where necessary and appropriate, and shall be distinguished by textured paving, and integrated into the wider network of pedestrian walkways.
- (xiii) The average perimeter of all blocks within the TND should generally not exceed 1600 feet. No block side should have more than 500 feet of street frontage without a dedicated street alley or pedestrian pathway providing access through it. (The philosophy of short block lengths in TND communities is intended to reduce travel speeds, increase access to property, and improve circulation for all users.)



Example of pedestrian corridor which breaks up longer street blocks and providing additional pedestrian access

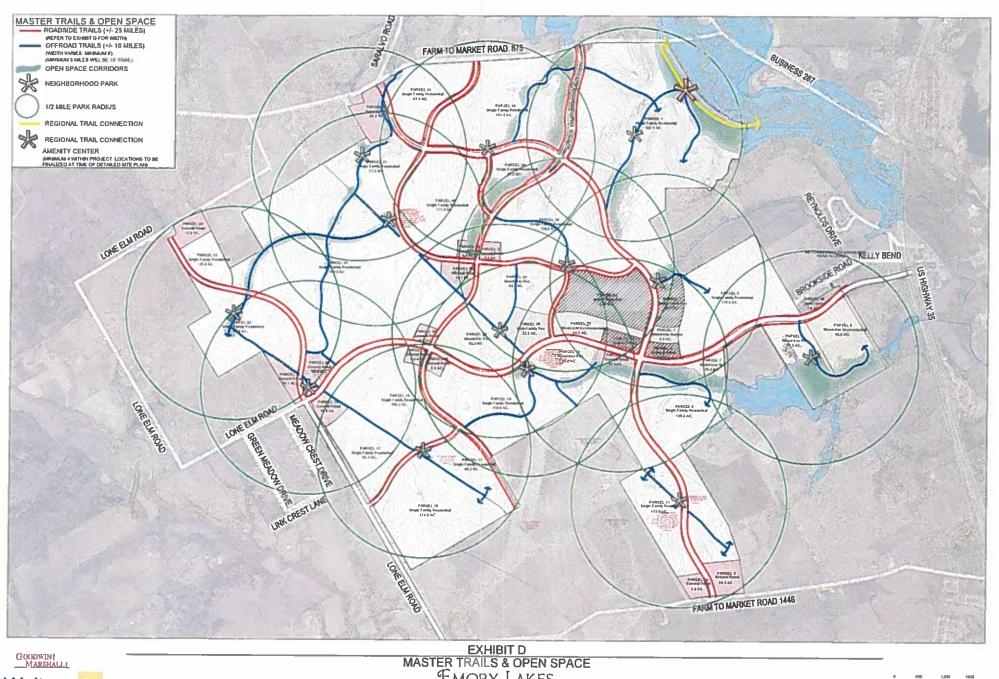
- (xiv) TND communities will not normally require mid-block crossings, due to the use of shorter block size. When mid-block crossings are necessary, the use of curb extensions or bulbouts should be considered to reduce the crossing distance for pedestrians.
- (xv) Street layouts forming blocks shall be connected in a grid fashion and generally rectilinear with "deformations" as may be physically proper to adapt streets to topographic or other natural conditions, including the preservation of large trees, and waterbodies.
 (xvi) On-street parking shall be provided in nonresidential areas.











Walton MESA

EXHIBIT D MASTER TRAILS & OPEN SPACE EMORY LAKES ELLIS COUNTY, TEXAS



